



TOWN OF GORHAM CODE ENFORCEMENT OFFICE

75 South Street, Suite 1 • Gorham, Maine 04038
PHONE: (207) 222-1605 • FAX: (207) 839-4793

PERMIT #

DEMO-

APPLICATION: DEMOLITION PERMIT	PERMIT FEES	<input type="checkbox"/> Less than 250 sq. feet - \$10.00	DATE: _____
		<input type="checkbox"/> Residential Structures - \$50.00	FEE PAID _____
		<input type="checkbox"/> Commercial/Industrial Structure – \$100.00	

Demolition means the tearing down or intentional burning of a building or part of a building and includes any institutional, commercial, public, industrial, or residential building.

PROPERTY DESCRIPTION	MAP	102	LOT	S	LOT SIZE	27,000 sq. ft
	LOCATION OF DEMOLITION PROJECT:					
PROPERTY OWNER'S INFORMATION	Name	Earle Enterprises, LLC			Mailing Address	68 Evans Ridge Rd Windham, ME 04062
	Phone	[REDACTED]				
	Fax	[REDACTED]				
	Email	[REDACTED]				
DEMOLITION CONTRACTOR'S INFORMATION	Name	Deane MacBeth			Mailing Address	
	Phone	[REDACTED]				
	Fax	[REDACTED]				
	Email	[REDACTED]				
PROJECT DESCRIPTION	Remove portion of building that is unsafe and irreparable. Portion is the 25'x16' ELL on the back side of the building					
DISPOSAL SITE	LOCATION OF DISPOSAL SITE: Dumpster by Reynolds					
EXPECTED START DATE	2/2021			EXPECTED COMPLETION DATE	2/2021	

Prior to demolition, Maine Law requires that buildings be inspected for asbestos, and that asbestos-containing materials be removed from said building(s). Inspection and/or removal of more than 3 square feet or 3 linear feet of asbestos-containing materials must be performed by an asbestos firm licensed by the Maine Department of Environmental Protection.

SIGNED: _____	DATE: _____
Owner/Authorized Agent	
APPROVED: _____	DATE: _____
Code Enforcement Officer	



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PERMIT NUMBER **503** FA TH
FEE PAID: **132.00** 7228
DATE: **12/11/2020**

APPLICATION: SHED -DECK -POOL OR MINOR PROJECTS

OFFICE USE ONLY	PROPERTY INFORMATION	Map	102	Lot(s)	5	Zoning District	UR H-D	Total Lot Area	
<input type="checkbox"/> PROPERTY OWNER	Name	Earle Enterprises, LLC			Mailing Address				
	Address of Construction	8 College Ave., Gorham, ME			Phone	[REDACTED]			
<input checked="" type="checkbox"/> BUILDER <input checked="" type="checkbox"/> CONTRACTOR	Name	Earle Enterprises, LLC			Mailing Address	68 Evans Ridge Rd Windham, ME 04092			
	Phone	207 274 4741							

PROPOSED ACTIVITY:
 DECK SHED OUTBUILDING OTHER POOL Above ground In ground SIZE
 Please Describe closing in and weather proofing damaged Thru-out building
closing in only make water tight (no walks)
 Include a set of plans (if needed) to show Elevations, Cross Section, Foundation information & Plot Plan (reverse)

BUILDING DIMENSIONS	LENGTH:	WIDTH:	HEIGHT:	TOTAL AREA:
	FT	FT	FT	SQ. FT.

PROPOSED USE: RESIDENTIAL COMMERCIAL
 ESTIMATED CONSTRUCTION COSTS
 BASED ON LABOR & MATERIALS FAIR MARKET VALUE
 IF THIS LOT IS PART OF A SUBDIVISION, PROVIDE THE SUBDIVISION NAME: \$ 11,000 + 19,000 FA TH

ATTENTION: A \$50.00 RE INSPECTION FEE MAY BE CHARGED IF THE APPLICANT FAILS TO NOTIFY THE CODE OFFICE OF INSPECTION CANCELLATIONS LESS THAN FOUR HOURS PRIOR, AND/OR IF WORK FAILS TO PASS ANY INSPECTIONS.

SPRINKLER SYSTEM REQUIRED
 YES NO

FIRE DEPARTMENT APPROVAL
 YES NO

THE WATER SUPPLY IS WELL PUBLIC

SEWAGE DISPOSAL IS SEPTIC PUBLIC

Effective February 2003: A CONSTRUCTION GENERAL PERMIT from the DEP is required for disturbance of soil of one or more acres. Additionally, the Permit by Rule standard is still in effect which is required when you disturb any soil within 75' of any water body. Contact the Maine DEP for these rules and regulations at (207) 822-6300.

The undersigned hereby makes application to the Town of Gorham for approval of the proposed project and declares the foregoing to be true and accurate to the best of his/her knowledge.
Must meet IRC/IBC Codes & IECC
 APPLICANT: [Signature] DATE: 12/10/2020
 OWNER: [Signature] DATE: 12/10/2020

THIS SECTION FOR OFFICE USE ONLY

ZONING:	SETBACKS REQUIRED:	FRONT:	FT.	BACK:	FT.	SIDE:	FT.	STREET FRONTAGE:	FT.	
REVIEW REQUIRED:	BOARD OF APPEALS APPROVAL	<input type="checkbox"/> YES <input type="checkbox"/> NO	DATE:		COMMENT:					
	PLANNING BOARD APPROVAL	<input type="checkbox"/> YES <input type="checkbox"/> NO	DATE:		COMMENT:					
	SHORELAND ZONE	<input type="checkbox"/> YES <input type="checkbox"/> NO	OTHER: EXPLAIN:							
	FLOOD PLAIN	<input type="checkbox"/> YES <input type="checkbox"/> NO	THE PRESENT USE IS CONFORMING		THE EXISTING BUILDING(S) IS CONFORMING					
	SPECIAL EXCEPTION	<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> YES	<input type="checkbox"/> NO				
APPROVAL	<input checked="" type="checkbox"/> APPROVED <input type="checkbox"/> DENIED	AUTHORIZED SIGNATURE/CEO <u>Freeman [Signature]</u>						DATE: <u>12/10/2020</u>		

note you must keep the historical design - unless you have approval from the Historical Preservation Committee

MAP 102 LOT 5



TOWN OF GORHAM
CODE ENFORCEMENT OFFICE
 75 South Street, Suite 1, Gorham, Maine 04038
 Phone: (207) 222-1605 • Fax: (207) 839-4793

PERMIT NUMBER
FEE PAID
DATE

APPLICATION: BUILDING PERMIT/SINGLE FAMILY/COMMERCIAL

PROPERTY DESCRIPTION	Parcel ID OFFICE USE ONLY	Map	102	Lot(s)	5	Zoning District	Total Lot Area
<input checked="" type="checkbox"/> PROPERTY OWNER	Name	Earle Enterprises			Mailing Address	68 Evans Ridge Rd. Windham	
	Address of Construction	8 College Ave.			Phone	207 274 4741	
<input type="checkbox"/> BUILDER <input checked="" type="checkbox"/> CONTRACTOR	Name	Deane MacBeth			Mailing Address		
	Phone	207 574 0467					

PROPOSED ACTIVITY: ^{Existing} NEW SINGLE FAMILY COMMERCIAL
 Please Describe: Work being done to finish shell of existing single family house

Include a set of plans to include applicable info (Foundation, Elevations, Cross Section, & Plot Plan (reverse side) & Interior work to include (Floor Plan))

BUILDING DIMENSIONS	LENGTH:	WIDTH:	HEIGHT:	TOTAL AREA:	# OF STORIES:	# OF BEDROOMS:
	25 FT	16 FT	18 FT	800 SQ. FT.	2	0

PROPOSED USE:	<input checked="" type="checkbox"/> RESIDENTIAL	<input type="checkbox"/> COMMERCIAL	ESTIMATED CONSTRUCTION COSTS BASED ON LABOR & MATERIALS FAIR MARKET VALUE
IF THIS LOT IS PART OF A SUBDIVISION, PROVIDE THE SUBDIVISION NAME:	\$ 22,500		

ATTENTION: A \$50.00 RE INSPECTION FEE MAY BE CHARGED IF THE APPLICANT FAILS TO NOTIFY THE CODE OFFICE OF INSPECTION CANCELLATIONS LESS THAN FOUR HOURS PRIOR, AND/OR IF WORK FAILS TO PASS ANY INSPECTION.

FIRE SUPPRESSION SYSTEMS ARE REQUIRED IN ALL ONE & TWO FAMILY HOUSES AND MUST BE INSPECTED BY THE FIRE DEPARTMENT	FIRE SUPPRESSION SYSTEMS MUST BE APPROVED BY THE GFD 207-222-1660
--	--

WILL ANY WORK BE DONE WITHIN THE TOWN OR STATE RIGHT OF WAY? IF YES, ATTACH A COPY OF THE APPROPRIATE PERMIT.	<input type="checkbox"/> YES <input type="checkbox"/> NO	IS THIS PROJECT SUBJECT TO STATE OF MAINE REVIEW AND APPROVAL?	<input type="checkbox"/> YES <input type="checkbox"/> NO
THE WATER SUPPLY IS	<input type="checkbox"/> WELL <input type="checkbox"/> PUBLIC	SEWAGE DISPOSAL IS	<input type="checkbox"/> SEPTIC <input type="checkbox"/> PUBLIC

Effective February 2003: A CONSTRUCTION GENERAL PERMIT from the DEP is required for disturbance of soil of one or more acres. Additionally, the Permit by Rule standard is still in effect which is required when you disturb any soil within 75' of any water body. Contact the Maine DEP for these rules and regulations at (207) 822-6300.
Must meet IRC/IBC Codes & IECC

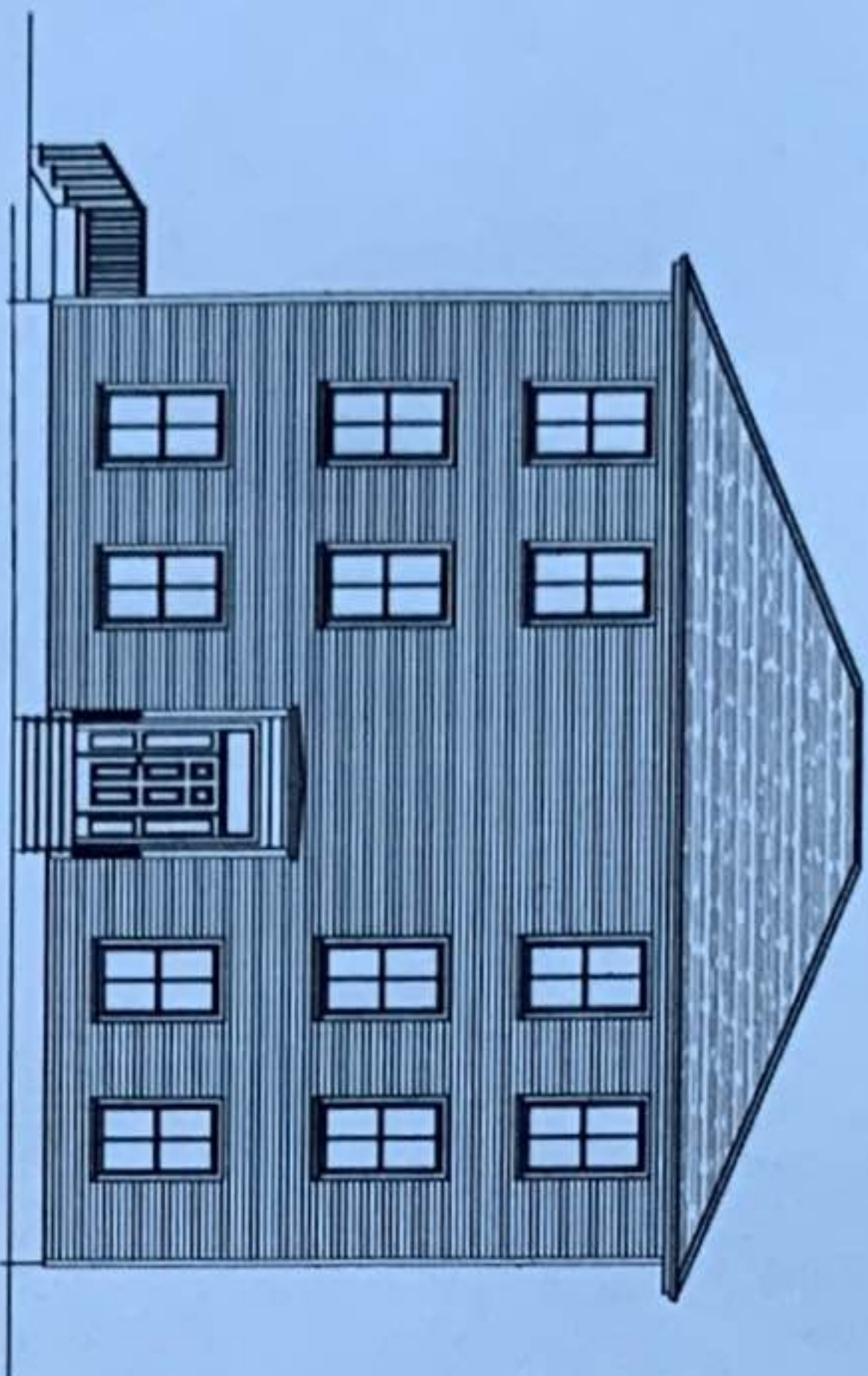
The undersigned hereby makes application to the Town of Gorham for approval of the proposed project and declares the foregoing to be true and accurate to the best of his/her knowledge

APPLICANT: _____ DATE _____
 OWNER: _____ DATE _____

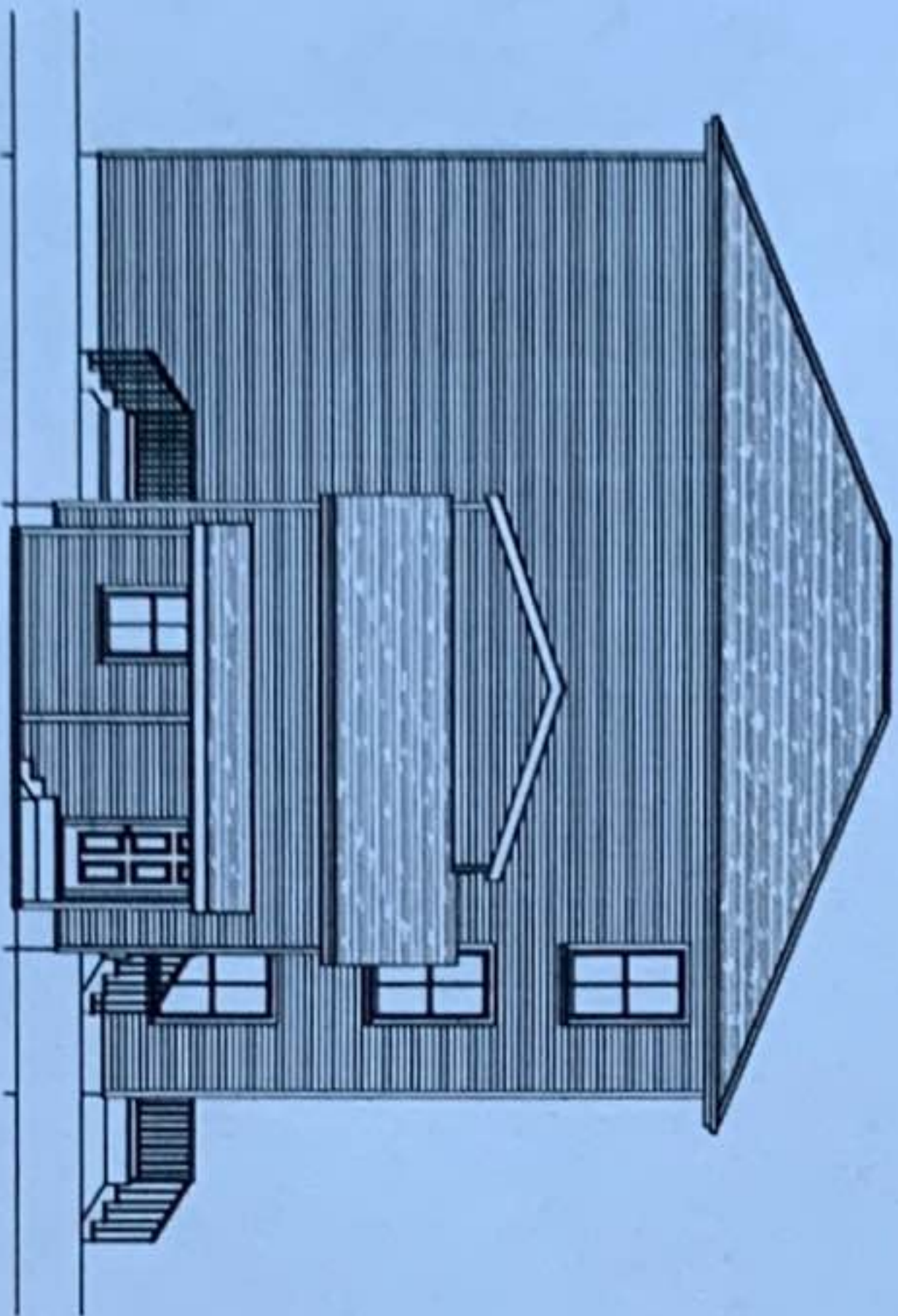
THIS SECTION FOR OFFICE USE ONLY

ZONING:	SETBACKS REQUIRED:	FRONT:	FT.	BACK:	FT.	SIDE:	FT.	STREET FRONTAGE:	FT.	
REVIEW REQUIRED:	BOARD OF APPEALS APPROVAL	<input type="checkbox"/> YES <input type="checkbox"/> NO	DATE:	COMMENT:						
	PLANNING BOARD APPROVAL	<input type="checkbox"/> YES <input type="checkbox"/> NO	DATE:	COMMENT:						
	SHORELAND ZONE	<input type="checkbox"/> YES <input type="checkbox"/> NO	OTHER, EXPLAIN:		CONFORMITY					
	FLOOD PLAIN	<input type="checkbox"/> YES <input type="checkbox"/> NO			THE PRESENT USE IS CONFORMING		THE EXISTING BUILDING(S) IS CONFORMING			
	SPECIAL EXCEPTION	<input type="checkbox"/> YES <input type="checkbox"/> NO			<input type="checkbox"/> YES <input type="checkbox"/> NO	<input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> YES <input type="checkbox"/> NO		
APPROVAL	<input type="checkbox"/> APPROVED <input type="checkbox"/> DENIED	AUTHORIZED SIGNATURE/CEO					DATE:			

Building permit requested for the reconstruction 25x16' 2 story
L attached to the main portion of the house. Original
intention was to restore as best as possible the original
structure but upon commencement, the integrity of the
portion of this building was damaged by fire, water,
and prolonged exposure to the elements and it is
being rebuilt exactly as it was originally and to the
building elevations attached. Bruce Rouillard from the
Corham Historical Building preservation committee has
been contacted and full explanation of this has
been provided. The committee will be meeting this
week to review and approve the necessary deviation
to rebuild this part of the building.



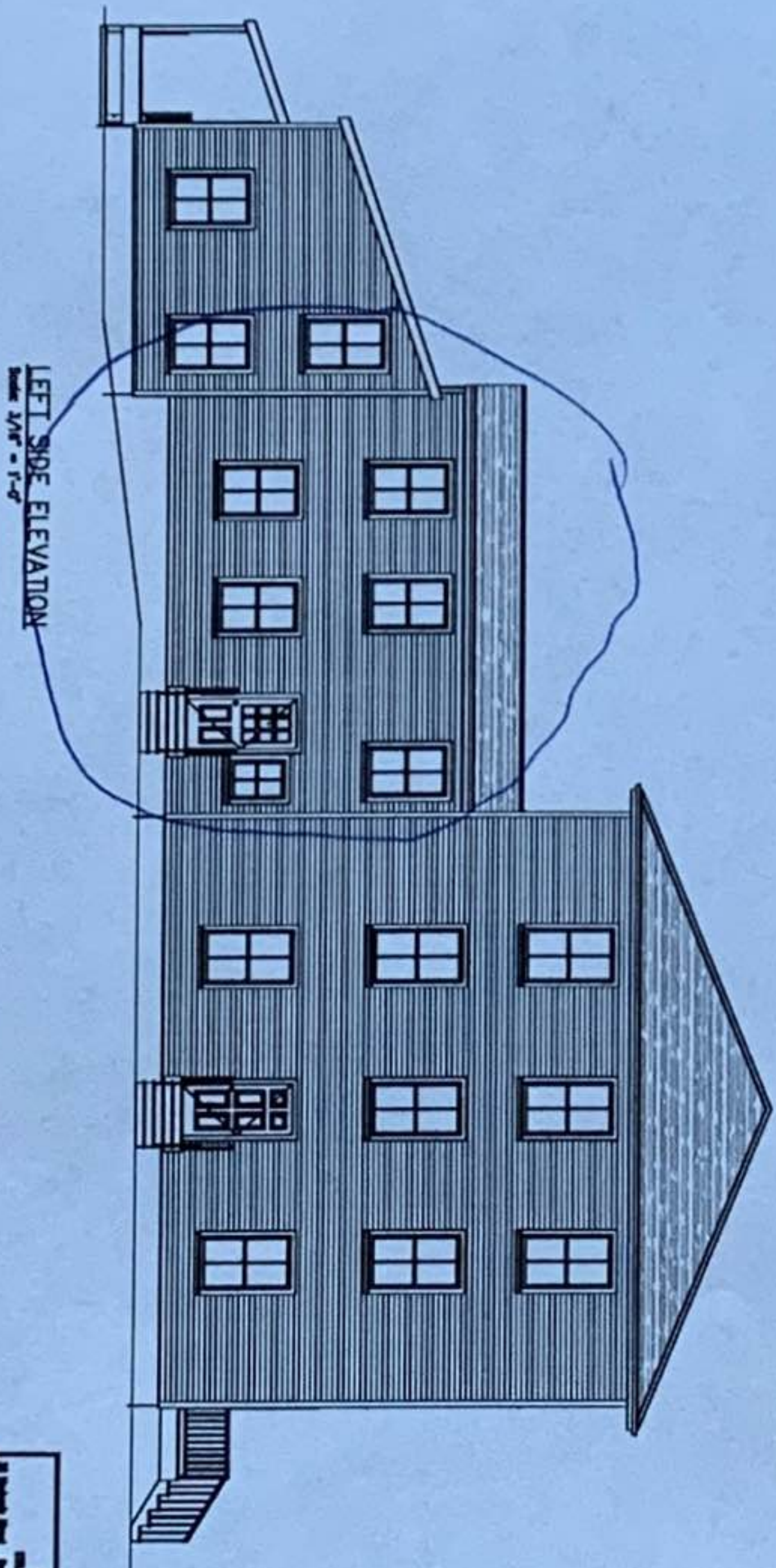
FRONT ELEVATION
Scale: 3/16" = 1'-0"



REAR ELEVATION
Scale: 3/16" = 1'-0"



RIGHT SIDE ELEVATION
Scale: 3/16" = 1'-0"



LEFT SIDE ELEVATION
Scale: 3/16" = 1'-0"

ISSUED 01/19/21

MACECO	
ARCHITECTURAL SERVICES, P.A.	
200 North Street, Suite 200, New York, NY 10002	
Tel: (212) 691-1100	
Fax: (212) 691-1101	
www.maceco.com	
Project: Proposed Elevations	
Date: 01/19/21	Scale: 3/16" = 1'-0"
Sheet: A-1	of 1



FRONT ELEVATION
Scale: 3/16" = 1'-0"



RIGHT SIDE ELEVATION
Scale: 3/16" = 1'-0"

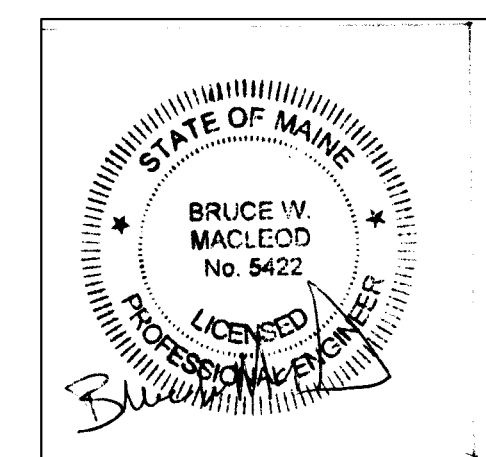


REAR ELEVATION
Scale: 3/16" = 1'-0"



LEFT SIDE ELEVATION
Scale: 3/16" = 1'-0"

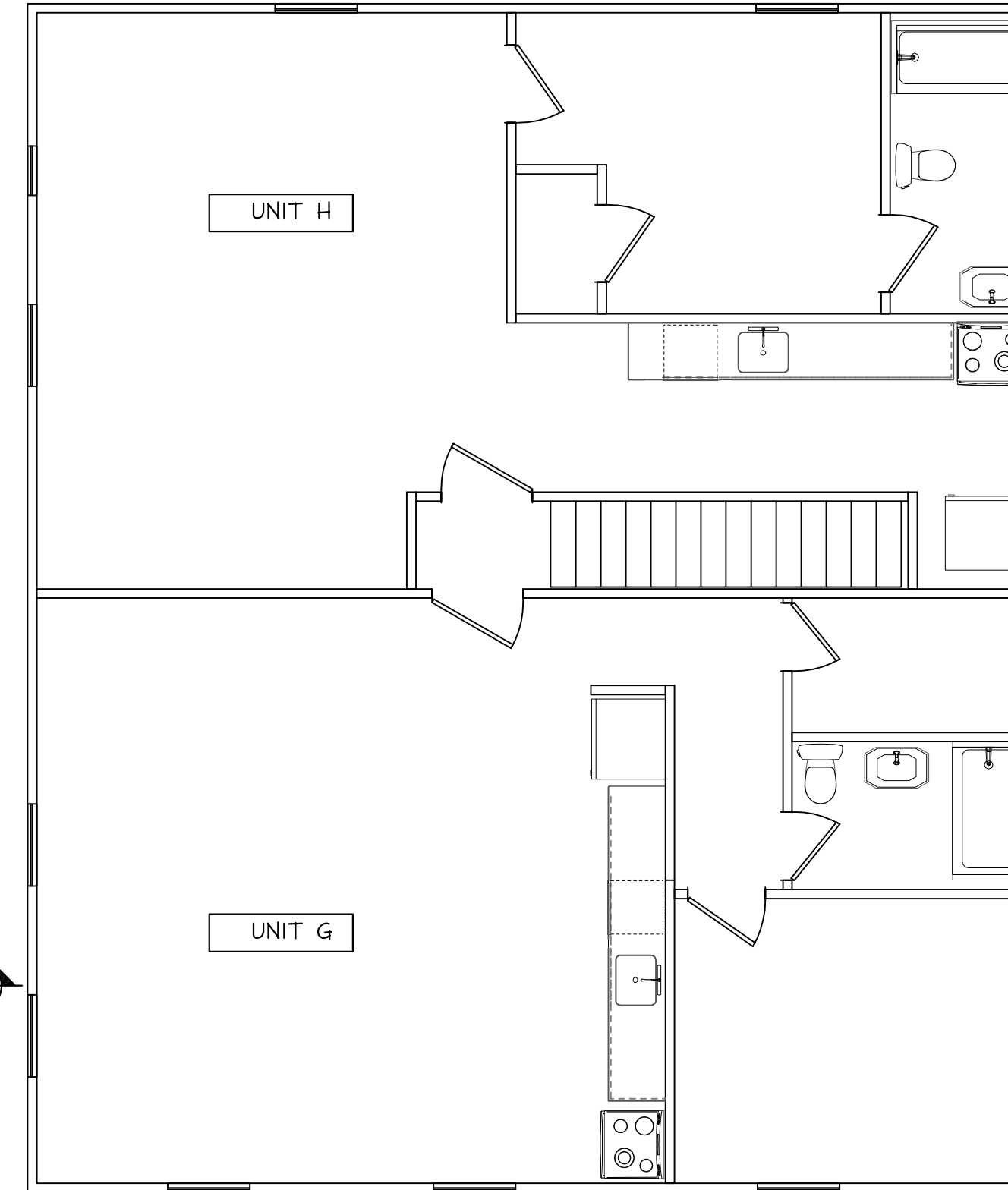
ISSUED 03/16/21



MACLEOD STRUCTURAL ENGINEERS, PA 20 Mechanic Street Corham, Maine 04038 207.839.0980		
McLellan House 8 College Ave. Corham, Maine		
TITLE: Proposed Elevations		
DATE: 01/12/21	DRAWN BY: BIM	DRAWING NUMBER:
SCALE: as noted	PROJ NO: 2021-006	A-1



SECOND FLOOR
Scale: 3/16" = 1'-0"



THIRD FLOOR
Scale: 3/16" = 1'-0"

SMOKE ALARMS
SHALL BE INTERCONNECTED & INSTALLED IN THE FOLLOWING LOCATIONS

1. EACH SLEEPING AREA
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
3. ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS
4. FIRE BLOCKING, FIRE RATED FIXTURES & CAULKING BETWEEN FLOORS WHEN/WHERE REQUIRED. 3/8 TYPE-X FIRE RATED SHEETROCK ON ALL WALLS & CEILINGS SEPARATING FLOORS WHEN/WHERE REQUIRED. PER TOWN AND LOCAL CODE.

* DENOTES EGRESS WINDOW
DH DENOTES WINDOW TYPE & ROUGH OPENINGS
SG TEMPERED/SAFETY GLASS; AT ALL HAZARDOUS LOCATIONS, INCLUDING BUT NOT LIMITED TO BATHROOMS ENTRY DOORS AND STAIRS

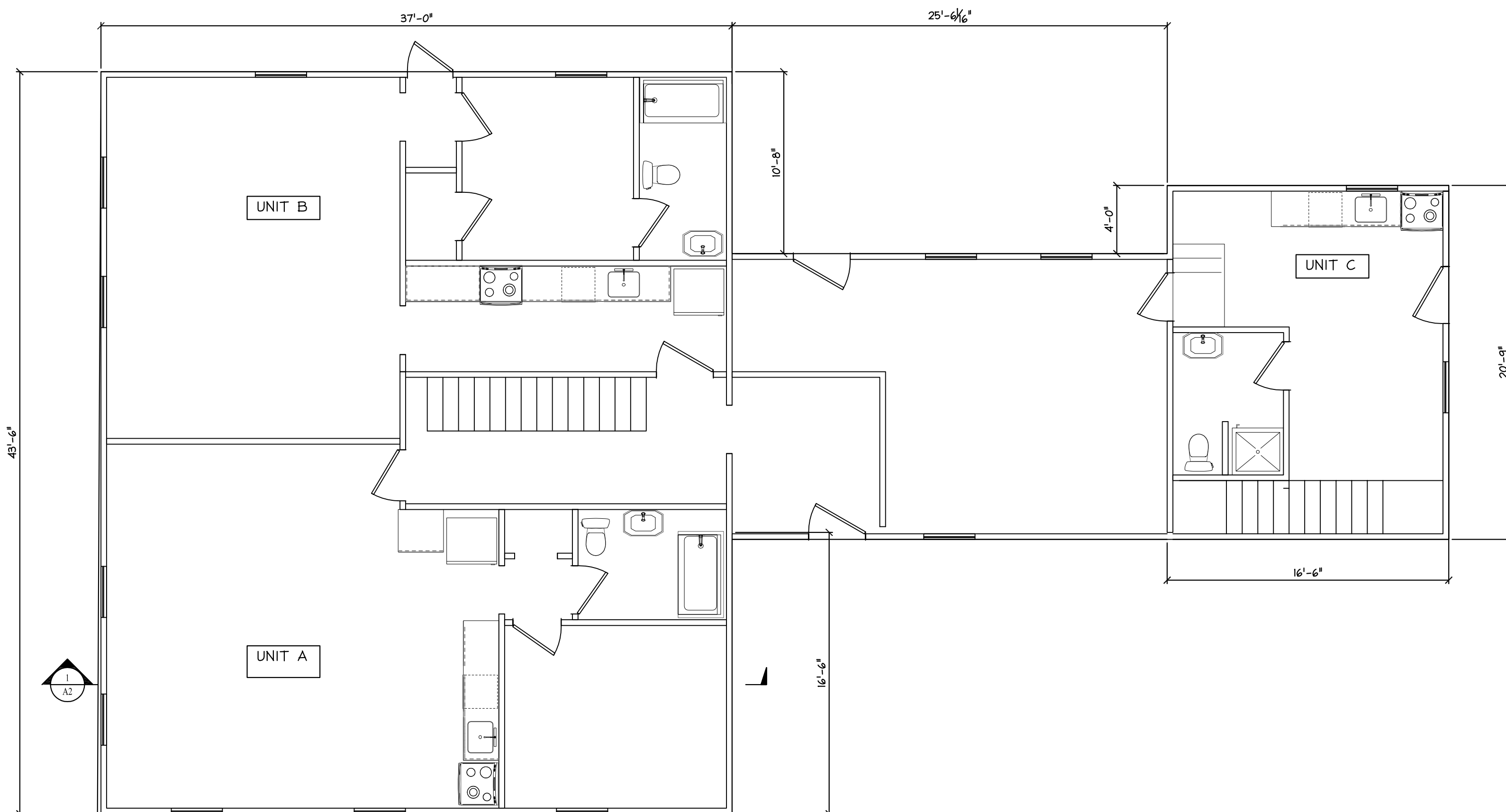
CARBON MONOXIDE ALARMS
SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS

1. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
2. IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES

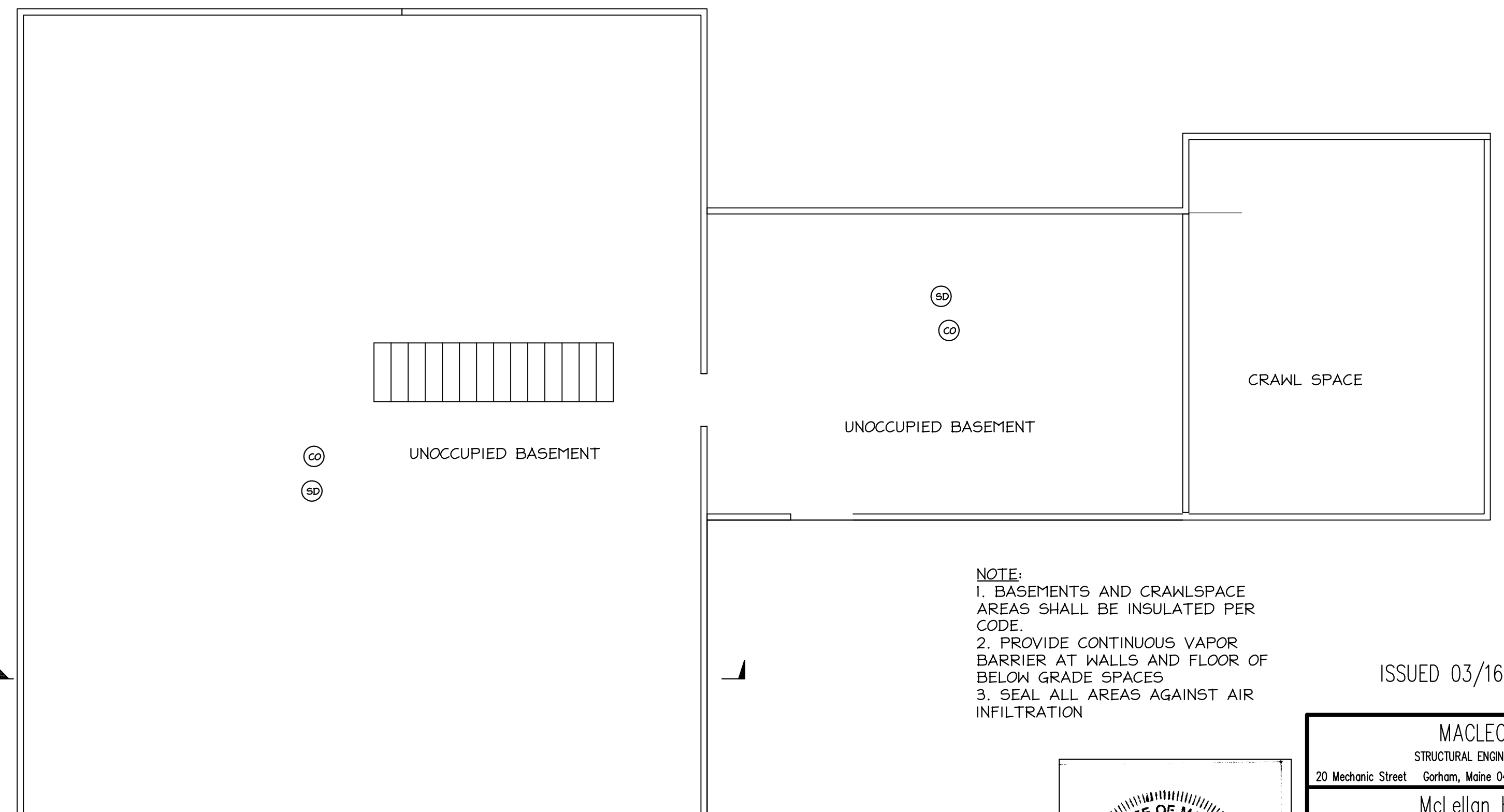
CONSTRUCTION NOTE:
CONTRACTOR TO VERIFY GRADE, STRUCTURAL INTEGRITY OF EXISTING STRUCTURE AND ALL DIMENSIONS IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. OR LOCAL CODES.

ENERGY CODE STANDARDS:

1. FENESTRATIONS EXISTING TO REMAIN,
 - 1.1. New Windows U=0.34 SHG=0.33
 - 1.2. New Doors U=0.25 SHG=0.16
2. CEILINGS/ROOF EXISTING TO REMAIN
 - 2.1. New Ceiling/Roof R49/R38
3. EXTERIOR WALL FRAMING EXISTING - Fill Wall,
 - 3.1. New 6in. stud wall R21
 - 3.2. New 4in. stud wall R-15



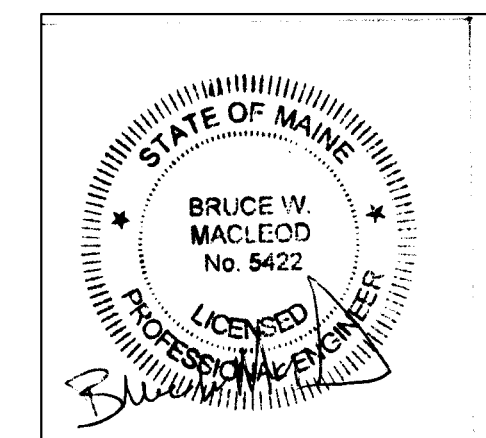
FIRST FLOOR
Scale: 3/16" = 1'-0"



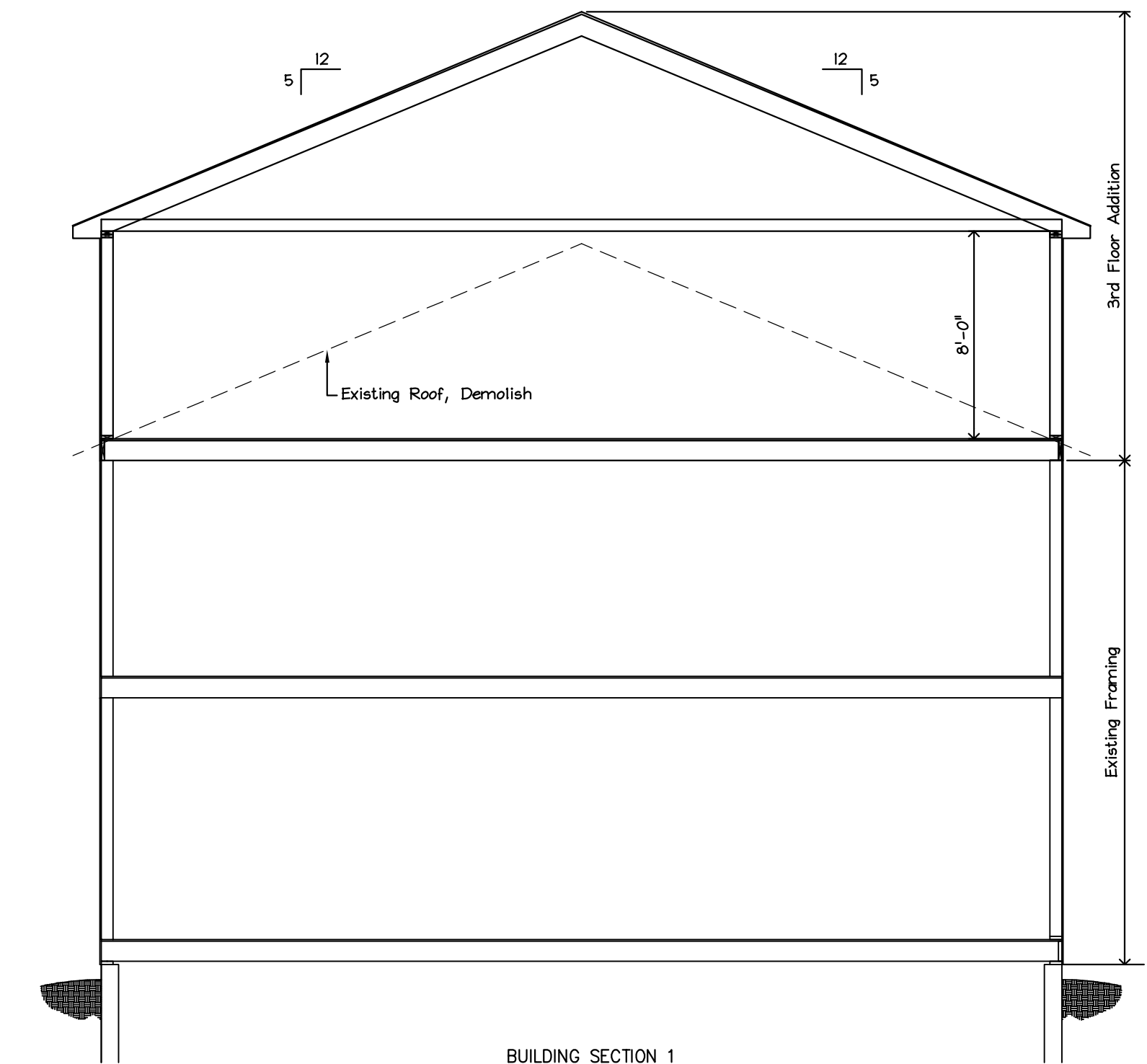
BASEMENT
Scale: 3/16" = 1'-0"

NOTE:
1. BASEMENTS AND CRAWLSPACE AREAS SHALL BE INSULATED PER CODE.
2. PROVIDE CONTINUOUS VAPOR BARRIER AT WALLS AND FLOOR OF BELOW GRADE SPACES
3. SEAL ALL AREAS AGAINST AIR INFILTRATION

ISSUED 03/16/21

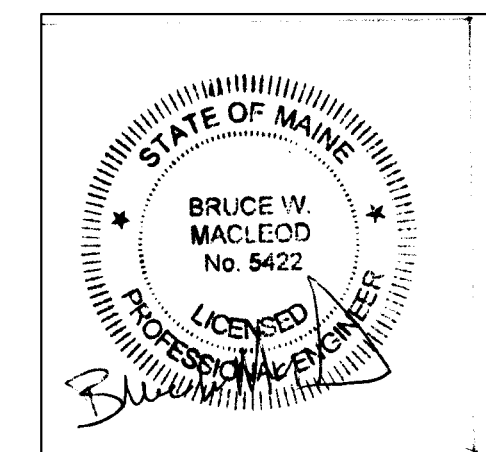


MACLEOD STRUCTURAL ENGINEERS, PA 20 Mechanic Street Corham, Maine 04038 207.839.0980		
McLellan House 8 College Ave. Corham, Maine		
TITLE: Proposed Floor Plans		
DATE: 01/12/21	DRAWN BY: BIM	DRAWING NUMBER:
SCALE: as noted	PROJ NO: 2021-006	A-2

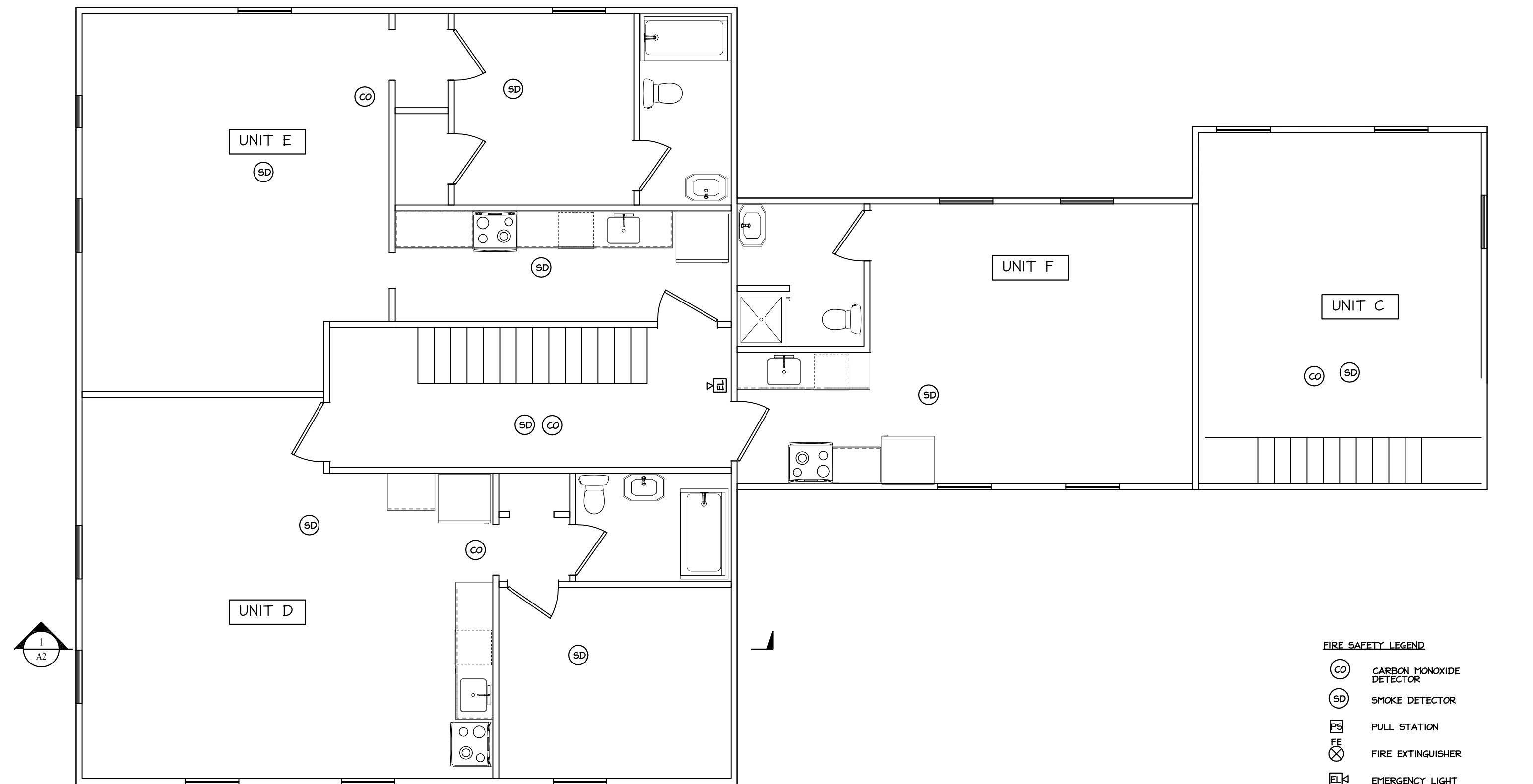


BUILDING SECTION 1
 scale: 3/16" = 1'

ISSUED 03/16/21

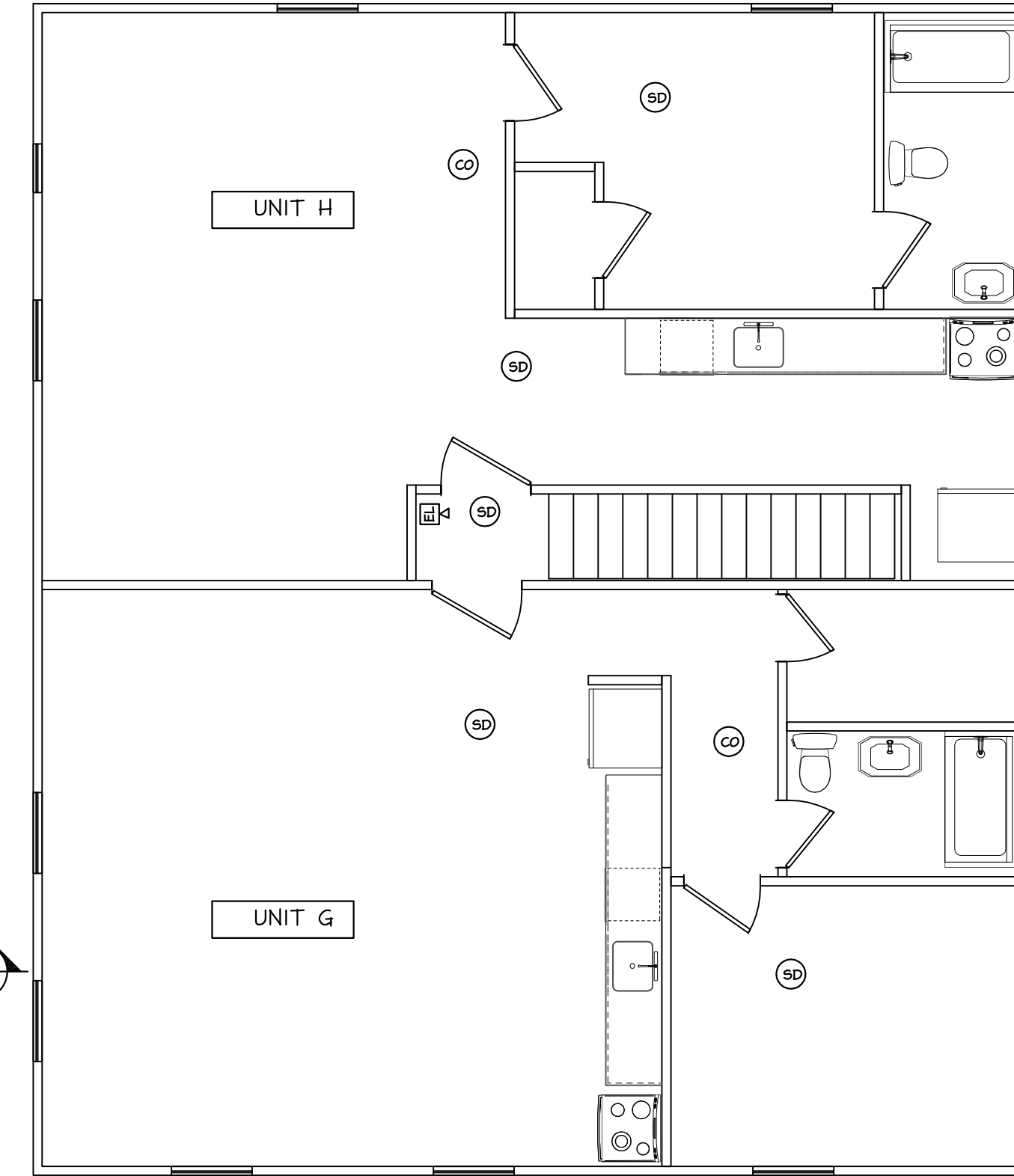


MACLEOD STRUCTURAL ENGINEERS, PA 20 Mechanic Street Corham, Maine 04038 207.839.0980		
McLellan House 8 College Ave. Corham, Maine		
TITLE: SECTIONS		
DATE: 01/12/21	DRAWN BY: BIM	DRAWING NUMBER:
SCALE: as noted	PROJ NO: 2021-006	A-3



SECOND FLOOR
Scale: 3/16" = 1'-0"

- FIRE SAFETY LEGEND**
- CARBON MONOXIDE DETECTOR
 - SMOKE DETECTOR
 - PULL STATION
 - FIRE EXTINGUISHER
 - EMERGENCY LIGHT
 - HORN STROBE PACK
 - FIRE ALARM BELL
 - ILLUMINATED EXIT SIGN
 - COMBINED EMERGENCY/EXIT SIGN



THIRD FLOOR
Scale: 3/16" = 1'-0"

- GENERAL NOTES:**
1. THIS PLAN IS DESIGNED TO COMPLY WITH 2018 IBC, 2018 NFPA, ADA, AND 2018 IECC
 2. ALL OTHER CODES SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR
 3. ALL FIRE DETECTION AND EXTINGUISHMENT SYSTEMS SHALL BE DESIGNED AND INSTALLED BY QUALIFIED PERSONNEL
 4. CONTRACTOR SHALL CONSULT WITH MILLWORK PLANS FOR FRAMING AROUND WALLS
 5. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK
 6. ALL EQUIPMENT AND EXHAUST DEVICES SHALL COMPLY WITH NFPA CH. 211 STANDARDS

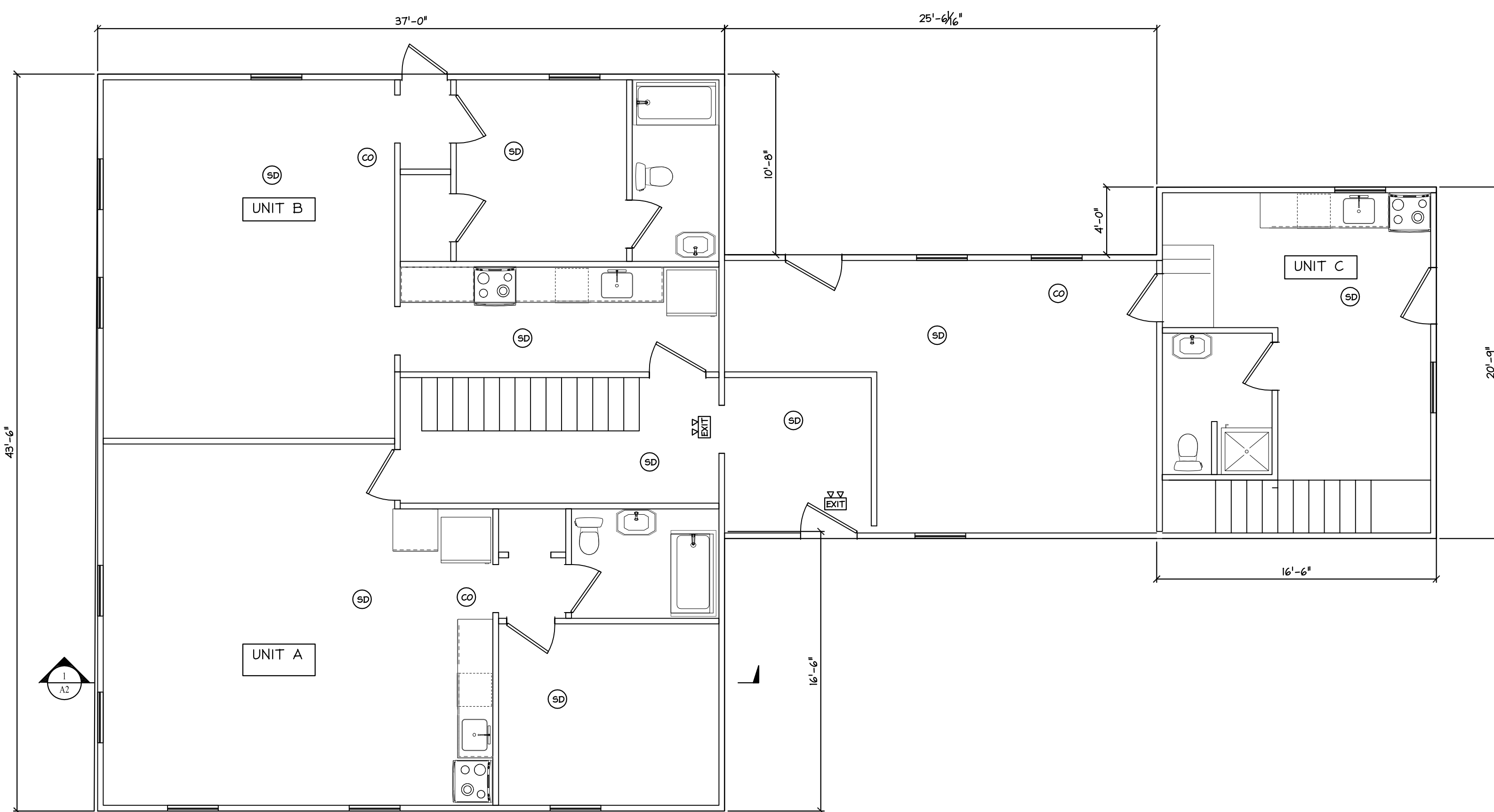
- FIRE SAFETY NOTES:**
1. EMERGENCY LIGHTS, HORN STROBES 80' AFF AS PER PLAN CONNECT TO BUILDING ALARM SYSTEM
 2. PROVIDE SMOKE, C.O. AND HEAT ALARM DETECTORS AS PER PLAN, CONNECT TO BUILDING ALARM SYSTEM
 3. FIRE EXTINGUISHERS PER PLAN
 4. SPRINKLER SYSTEM BY QUALIFIED SPRINKLER DESIGNER TO MEET CODE
 5. ALL INTERIOR FLOOR, WALL, AND CEILING EXPOSED SURFACE FINISHES, BUILDING CONTENTS AND FURNISHINGS SHALL MEET THE REQUIREMENTS OF CH. 10 NFPA LIFE SAFETY CODE, CLASS A, B, OR C, ASH E84 TABLES A.10.2 AND A10.2.2 (RENOVATED AREAS ONLY)
 6. RESERVED
 7. ALL EQUIPMENT AND EXHAUST DEVICES SHALL COMPLY WITH NFPA CH. 211 STANDARDS

CODE REVIEW
MUBEC - MAINE UNIFORM BUILDING AND ENERGY CODE
2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 NFPA 101 LIFE SAFETY CODE,
TOWN OF GORHAM, MAINE ORDINANCES

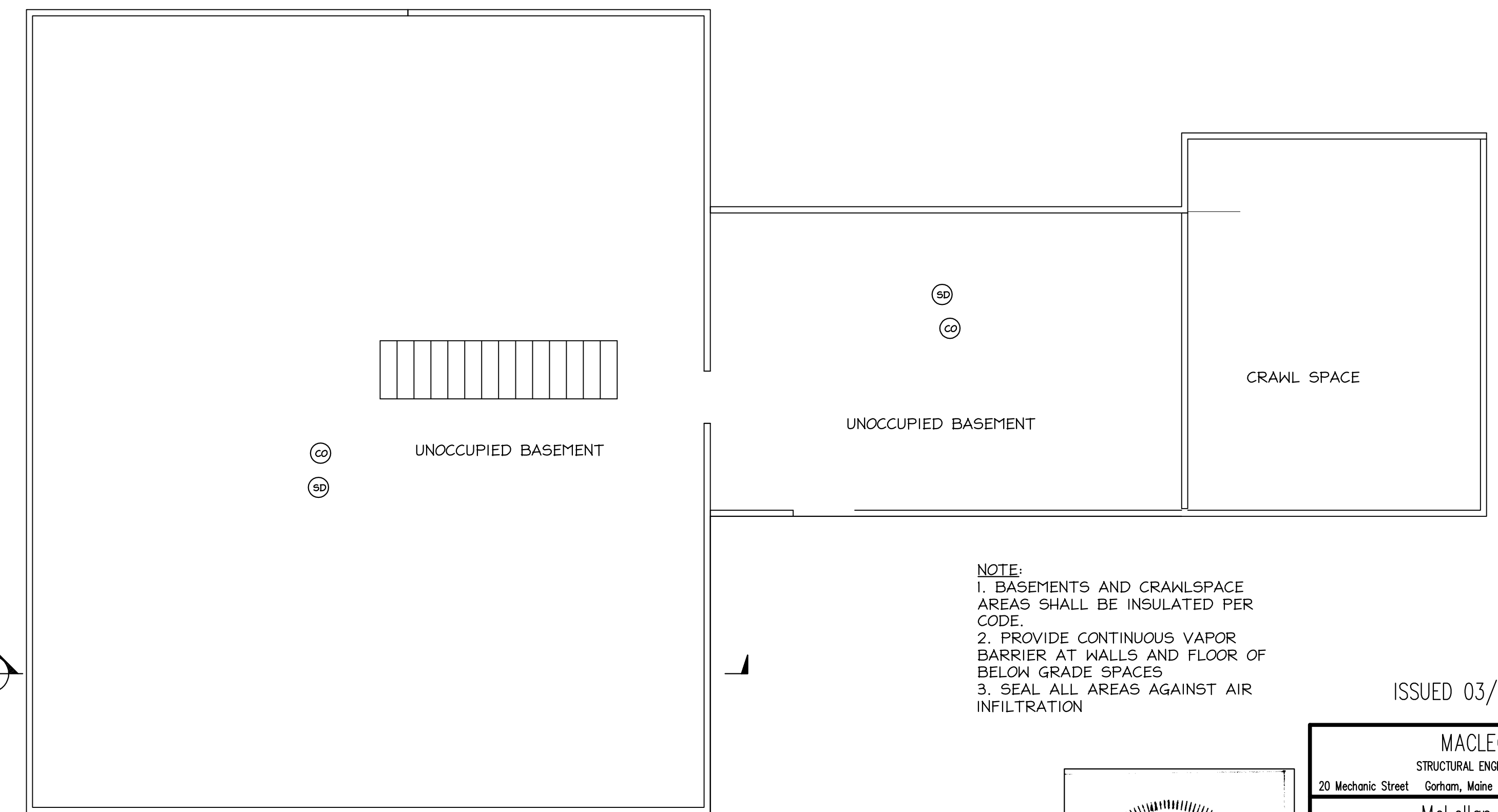
THIS PLAN IS FOR A RENOVATIONS AND REPAIRS TO AN APARTMENT BUILDING DUE TO FIRE.
TYPE OF CONSTRUCTION
CONSTRUCTION TYPE V-B UNPROTECTED
NFPA APPROVED SPRINKLER SYSTEM WIRE TO CITY ALARM SYSTEM
(SUPERVISED, ADDRESSIBLE)
WITH SMOKE ALARM SYSTEM
EXIT ACCESS - FRONT EXIT AND REAR EXITS DIRECTLY TO THE OUTSIDE.

FIRE RATINGS OF ASSEMBLIES

EXTERIOR WALLS -	0 HR.
INTERIOR WALLS -	0 HR.
TENANT SEPARATION WALLS -	1 HR.
2NS & 3RD FLOORS -	1 HR.
ROOF -	0 HR.



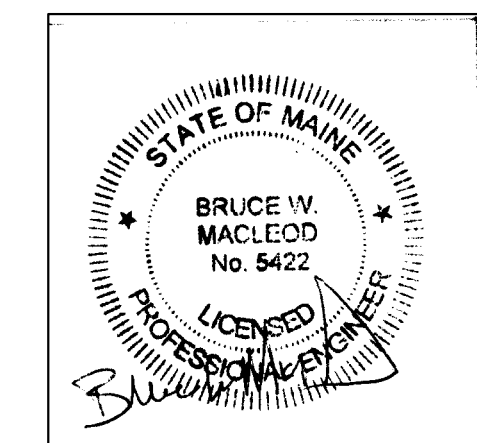
FIRST FLOOR
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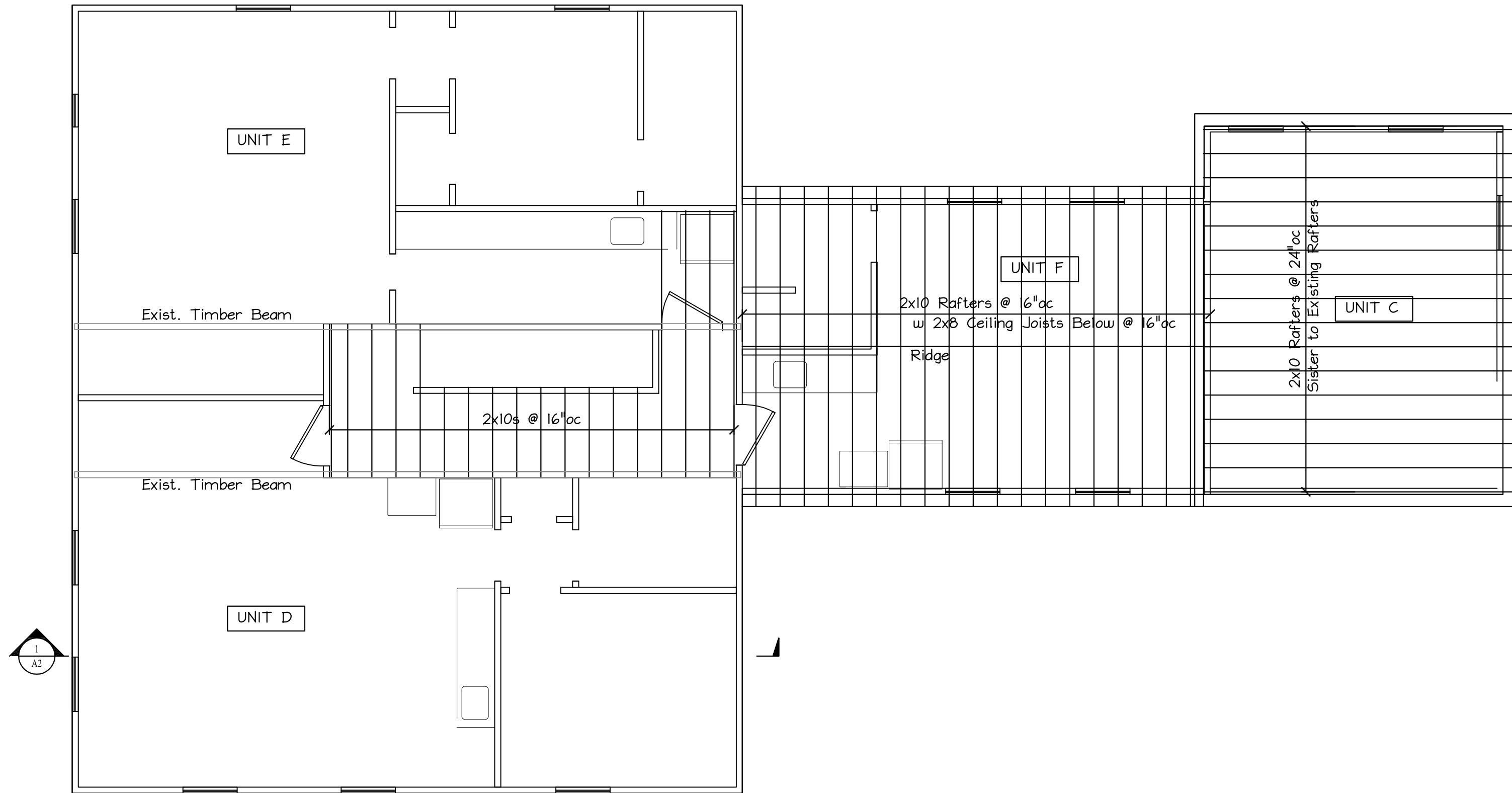
BASEMENT
Scale: 3/16" = 1'-0"

- NOTE:**
1. BASEMENTS AND CRAWLSPACE AREAS SHALL BE INSULATED PER CODE.
 2. PROVIDE CONTINUOUS VAPOR BARRIER AT WALLS AND FLOOR OF BELOW GRADE SPACES
 3. SEAL ALL AREAS AGAINST AIR INFILTRATION

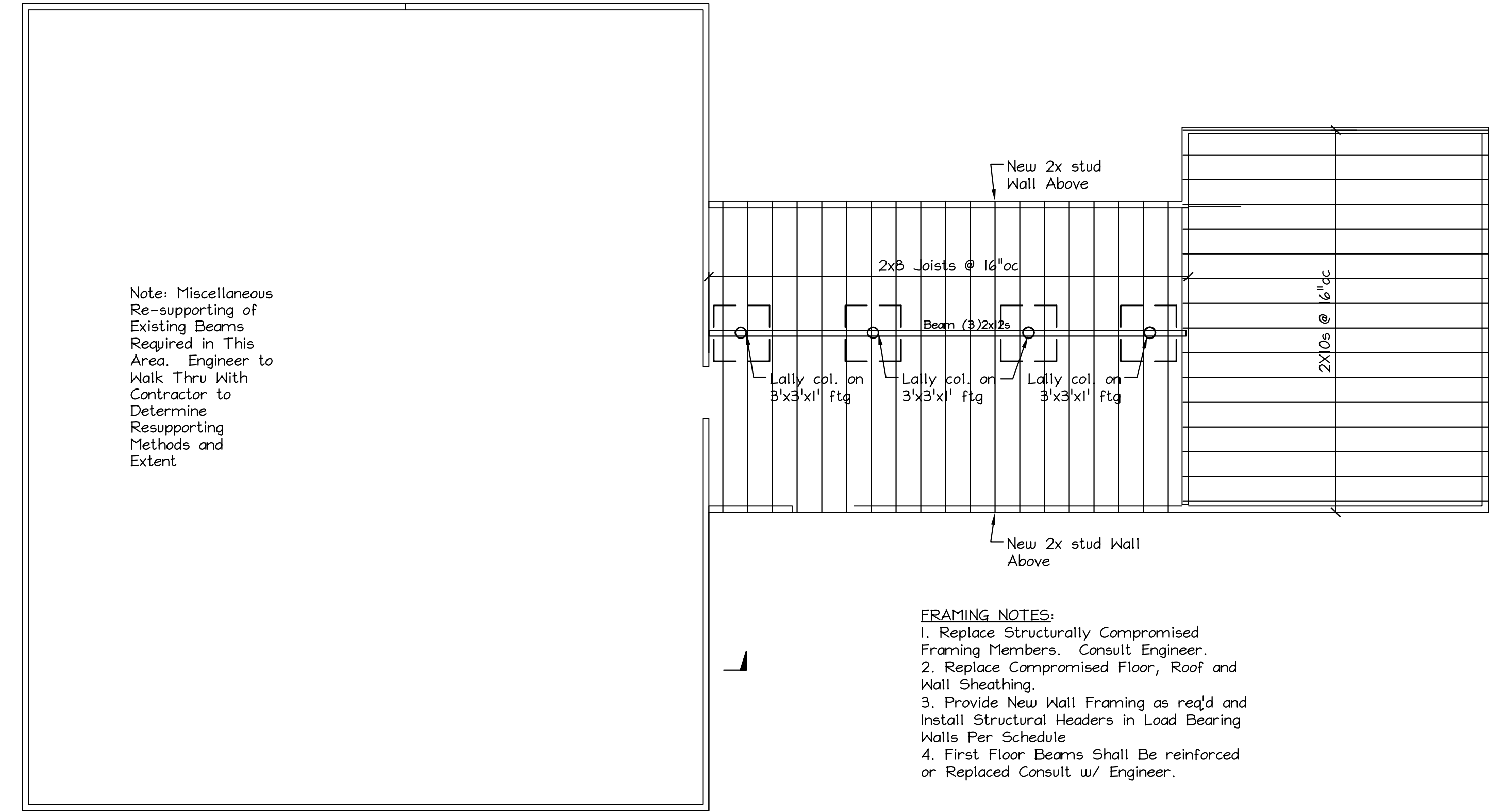
ISSUED 03/16/21



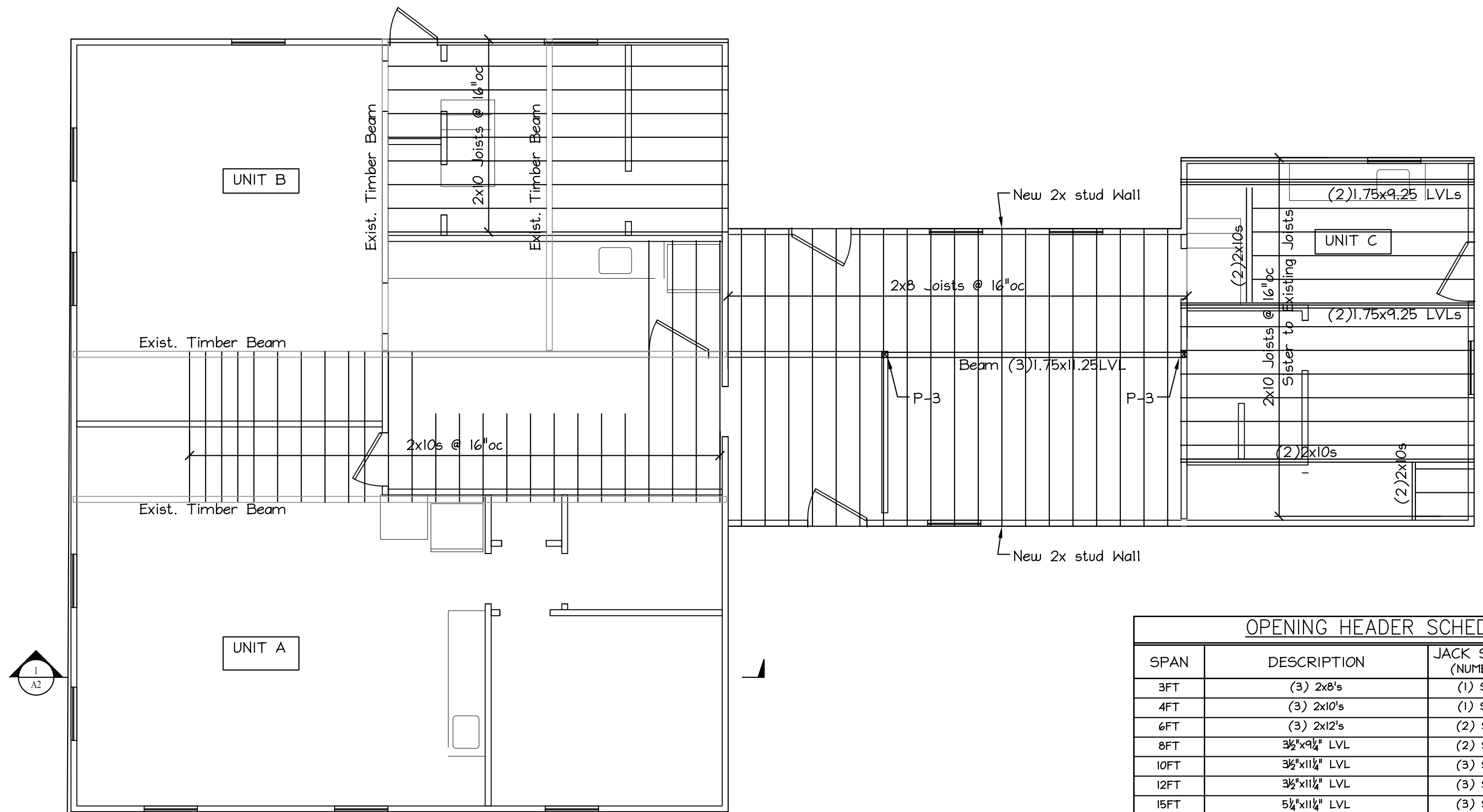
MACLEOD STRUCTURAL ENGINEERS, PA 20 Mechanic Street Gorham, Maine 04038 207.839.0980		
McLellan House 8 College Ave. Gorham, Maine		
TITLE: Life Safety Plans		
DATE: 01/12/21	DRAWN BY: BIM	DRAWING NUMBER:
SCALE: as noted	PROJ NO: 2021-006	LS-1



3rd FLR FRAMING & LOW ROOF PLAN
Shown Over Second Floor plan



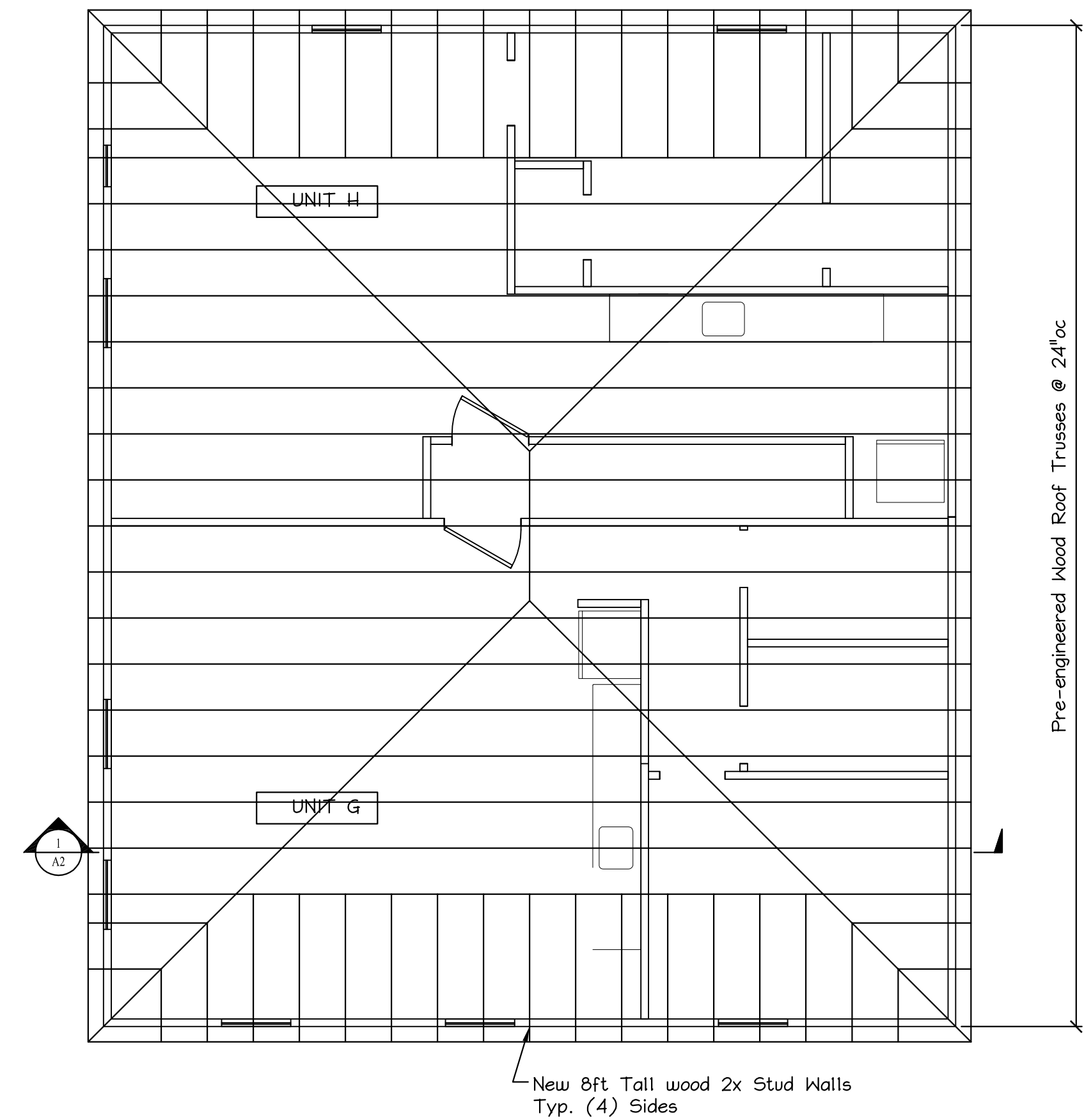
1st FLOOR FRAMING PLAN
Shown over Basement



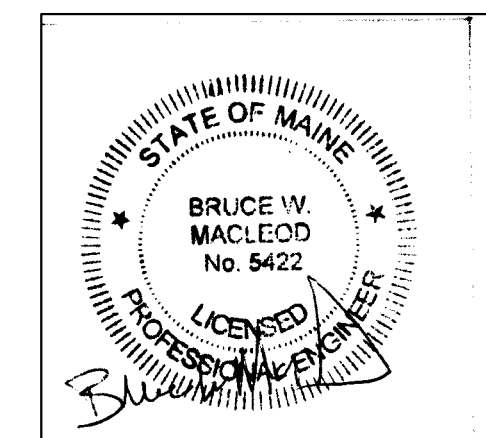
2nd FLOOR FRAMING PLAN
Shown over 1st Floor

OPENING HEADER SCHEDULE			
SPAN	DESCRIPTION	JACK STUDS (NUMBER)	KING STUDS (NUMBER)
3FT	(3) 2x8's	(1) Stud	(1) Studs
4FT	(3) 2x10's	(1) Stud	(1) Studs
6FT	(3) 2x12's	(2) Stud	(2) Studs
8FT	3/8"x11 1/2" LVL	(2) Stud	(2) Studs
10FT	3/8"x11 1/2" LVL	(3) Stud	N / A
12FT	3/8"x11 1/2" LVL	(3) Stud	N / A
15FT	5/8"x11 1/2" LVL	(3) Stud	N / A

POST SCHEDULE	
MARK	DESCRIPTION
P-1	7"x7"PSL 1.8E Parallel
P-2	6"x6"P.T.Post
P-3	(3) 2"x4" Post



HIGH ROOF FRAMING PLAN
Shown over 3rd Floor plan



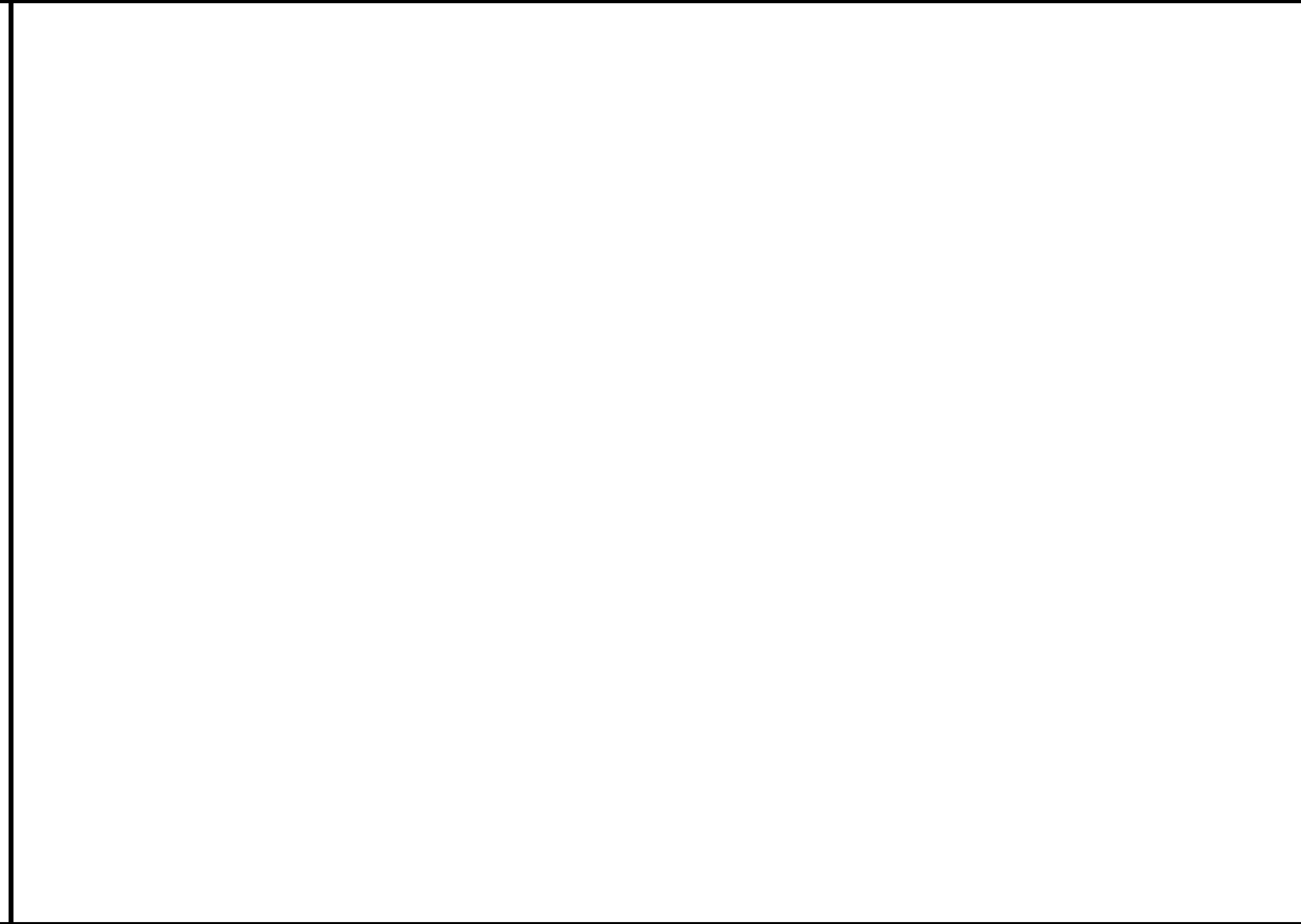
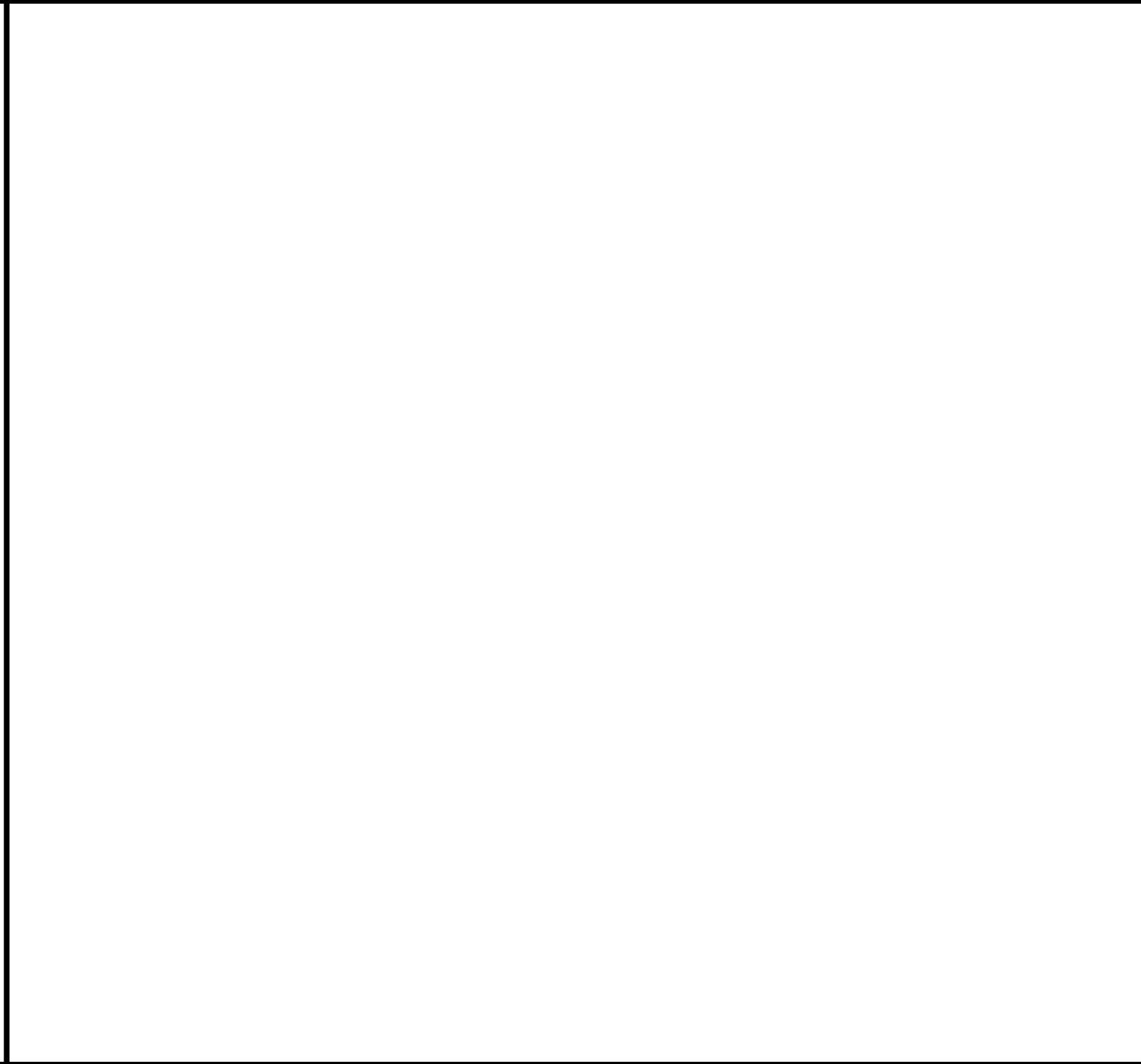
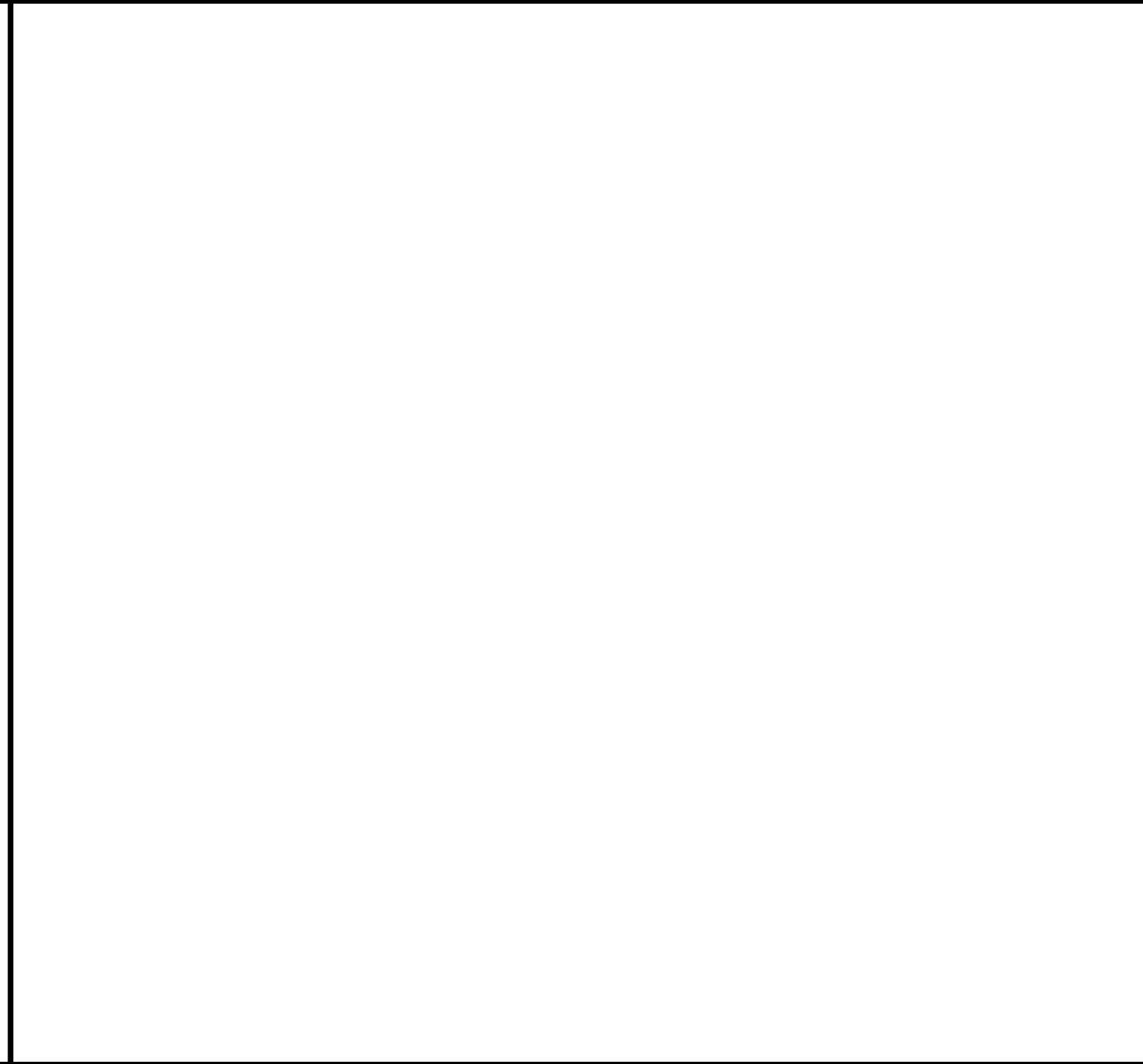
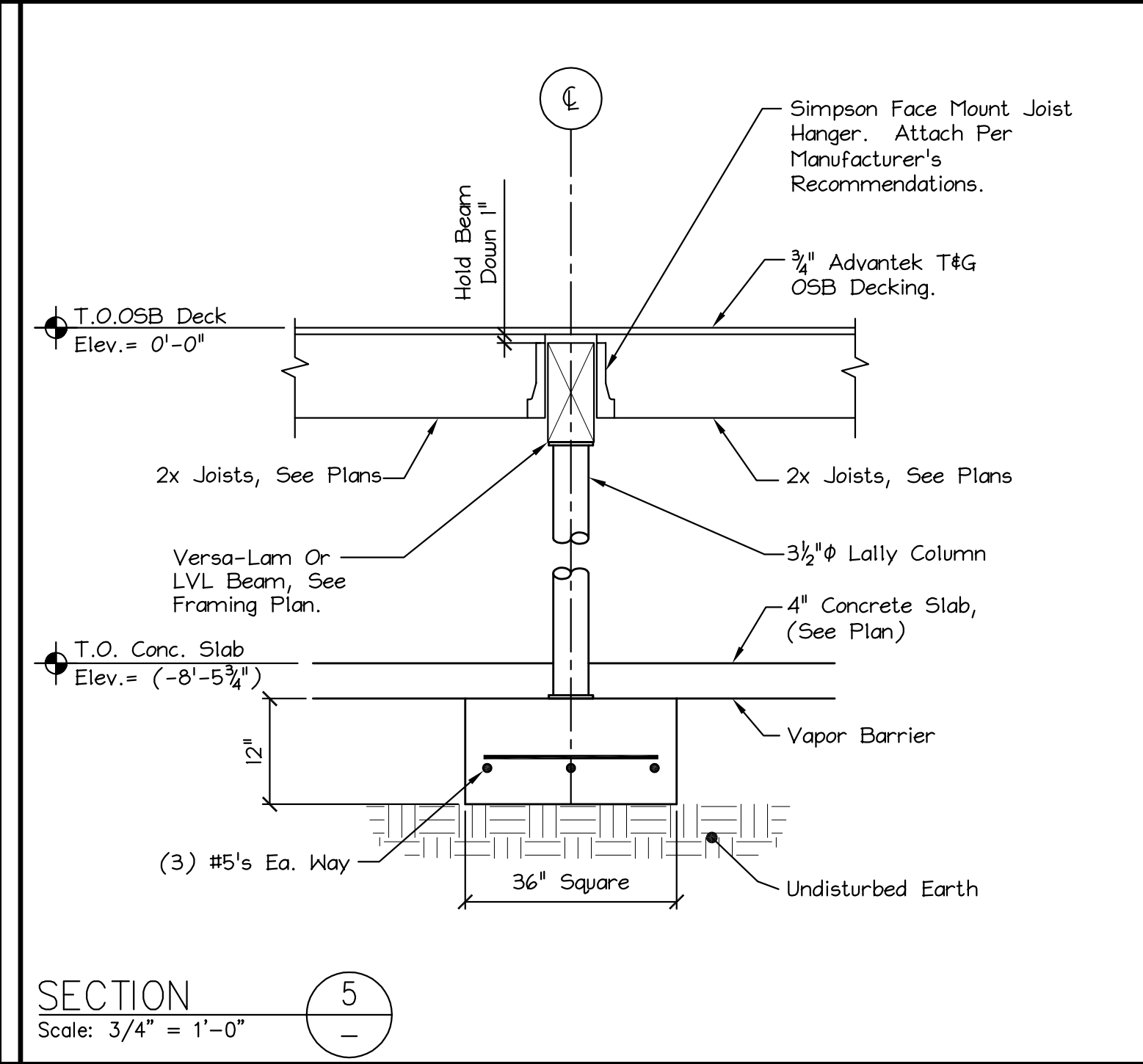
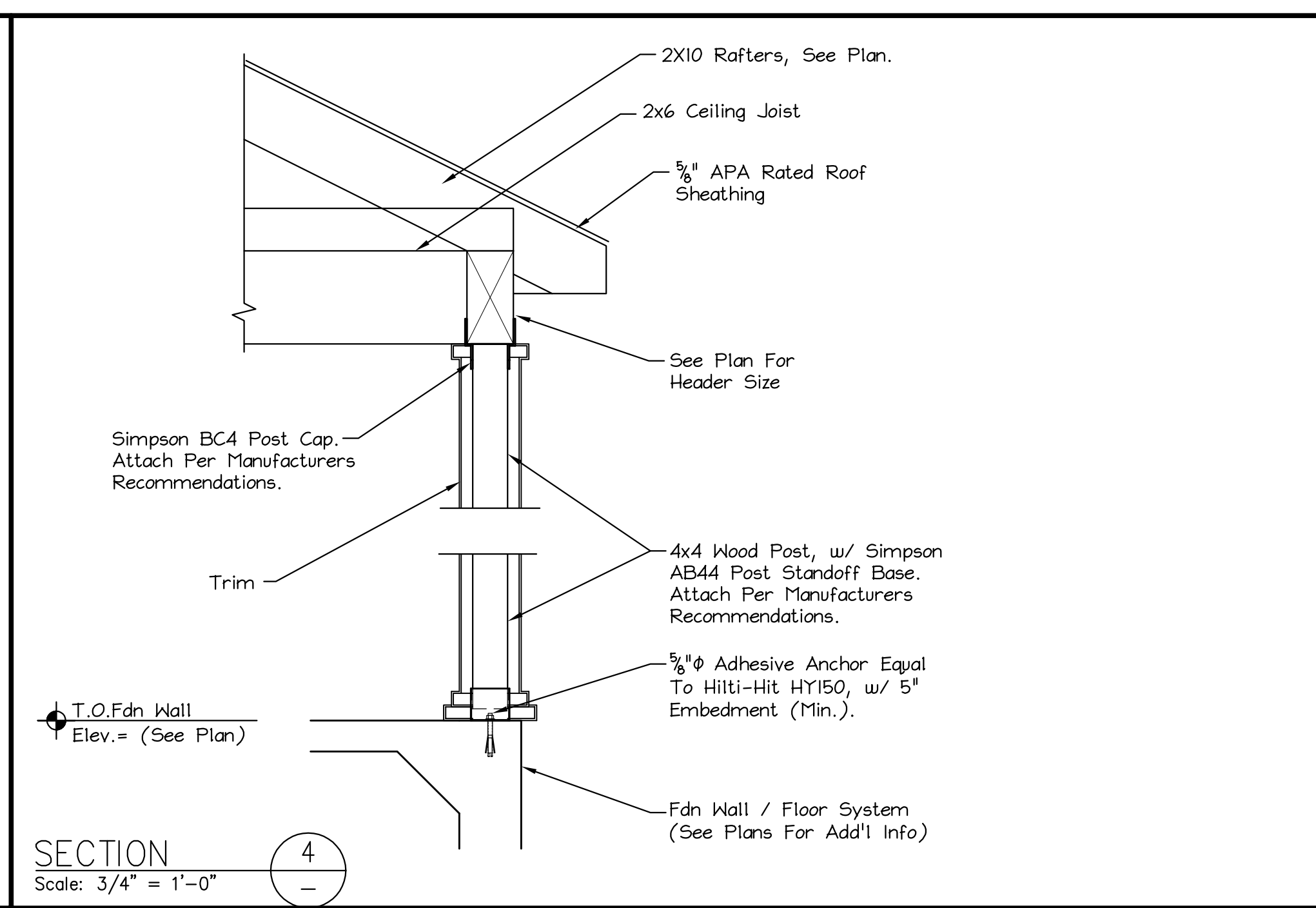
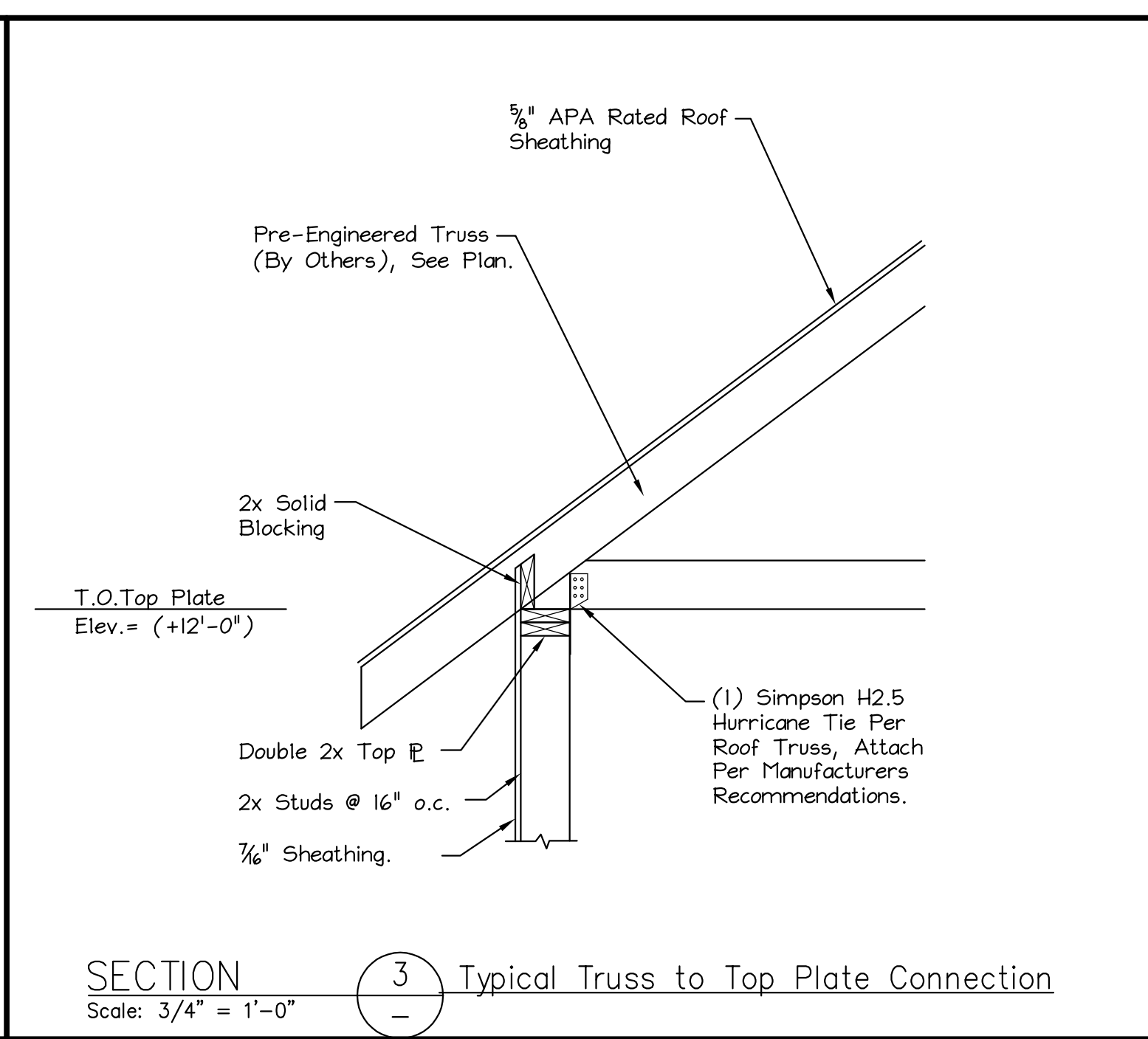
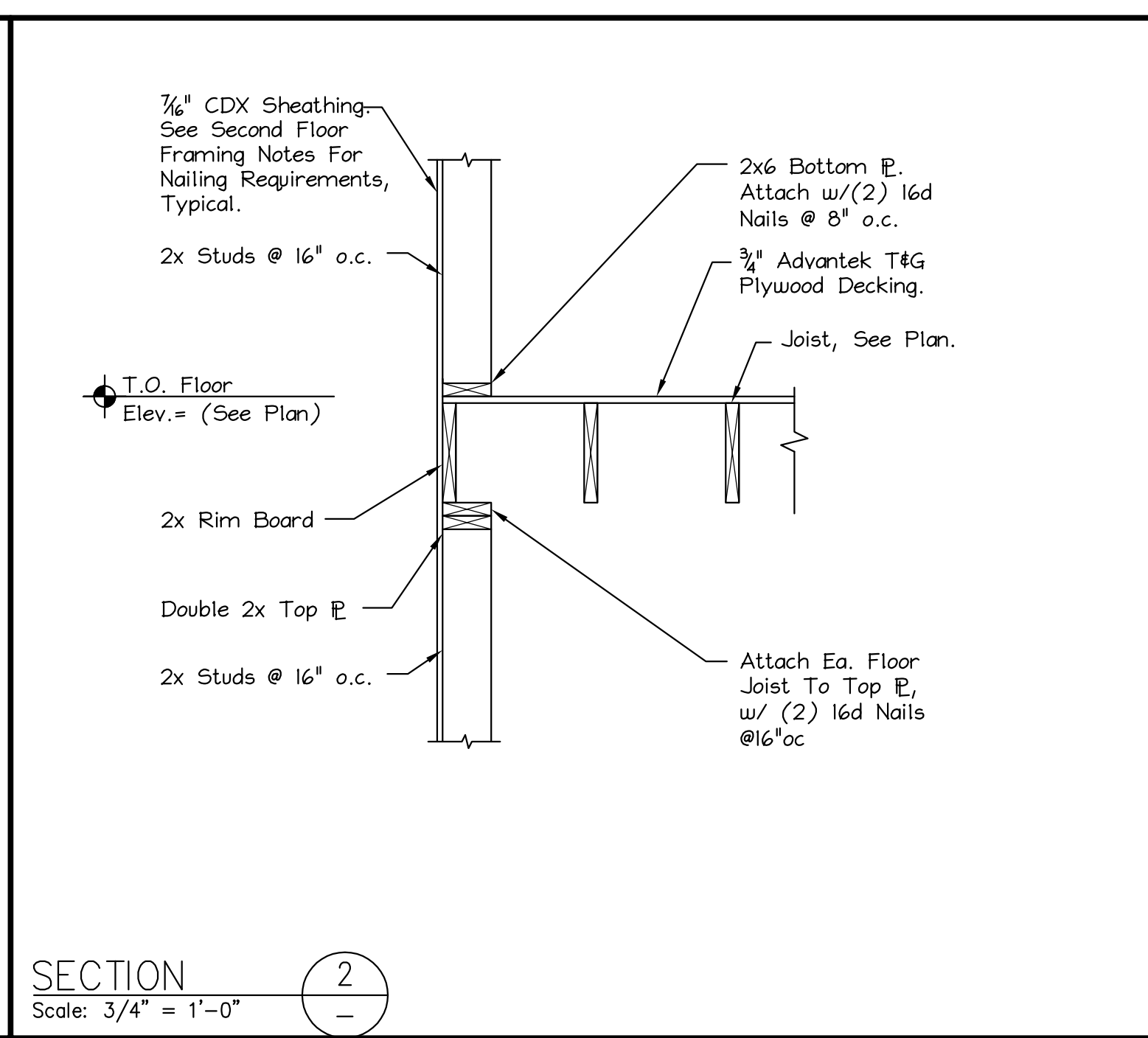
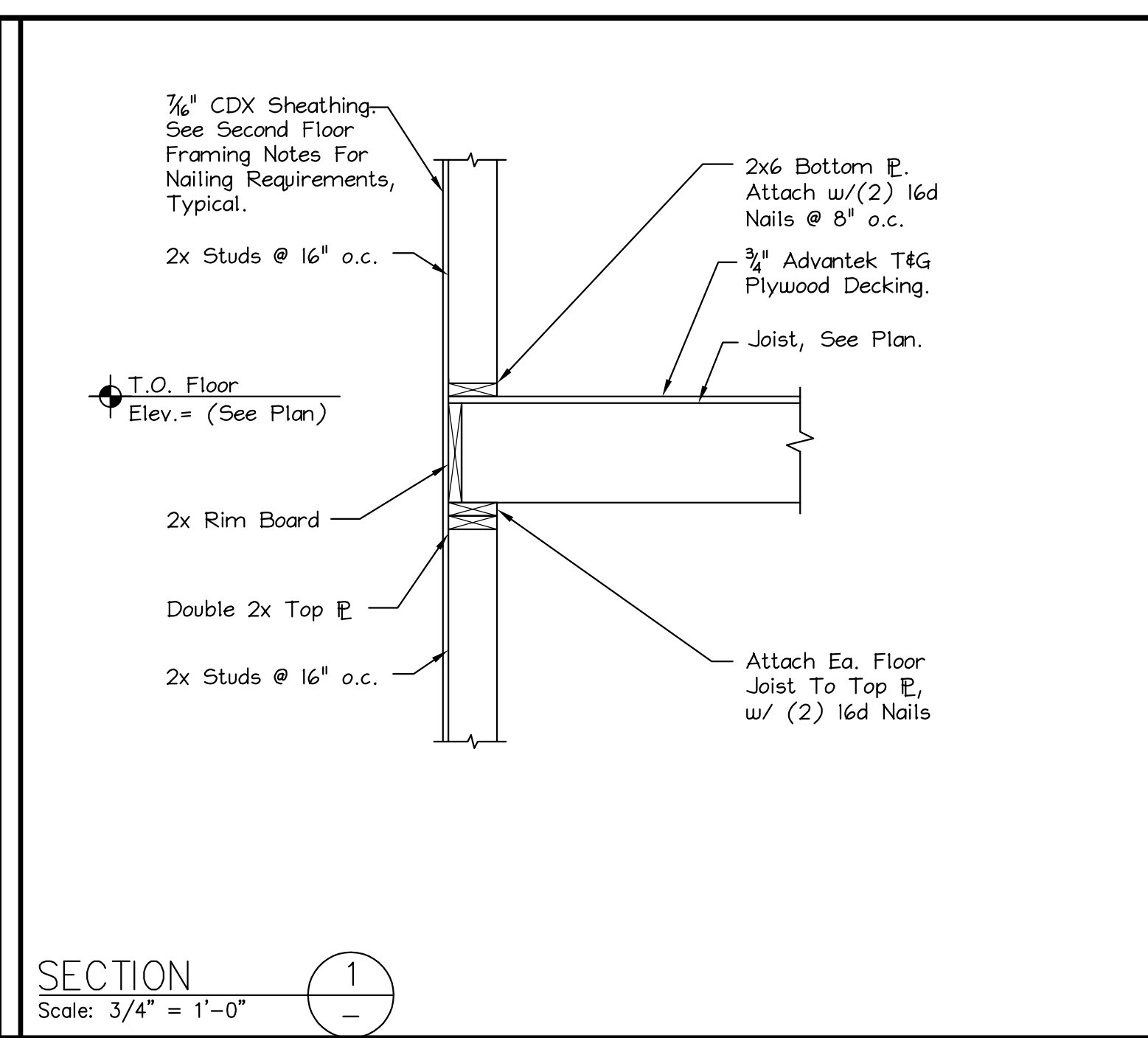
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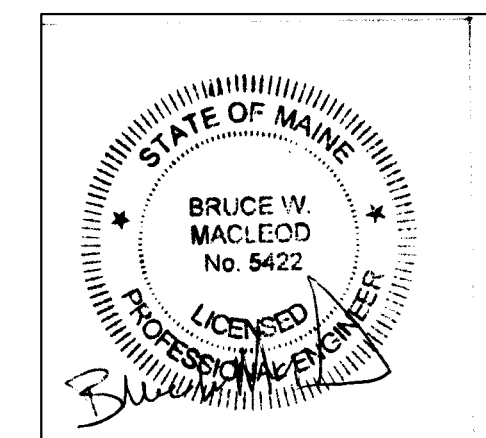
McLellan House
8 College Ave.
Gorham, Maine

TITLE: Framing Plans

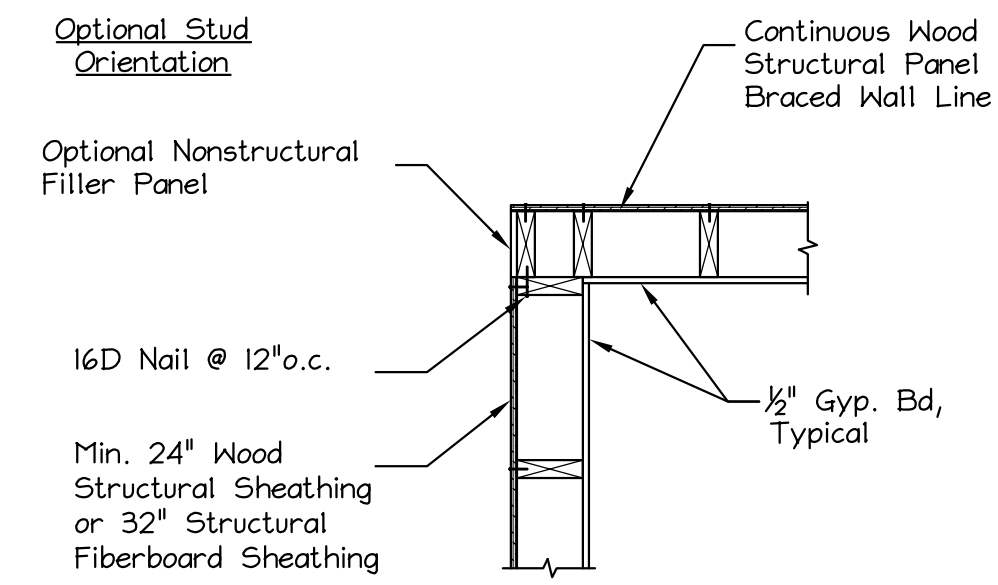
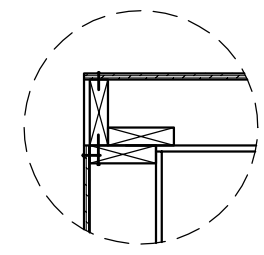
DATE: 01/12/21 DRAWN BY: BIM DRAWING NUMBER:
SCALE: as noted PROJ NO: 2021-006 S-1



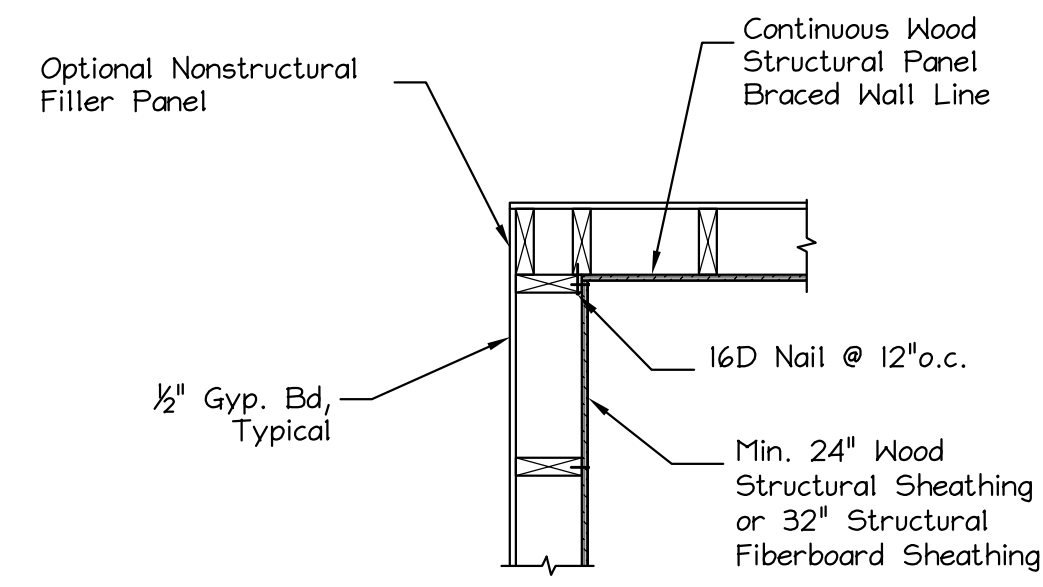
ISSUED 03/16/21



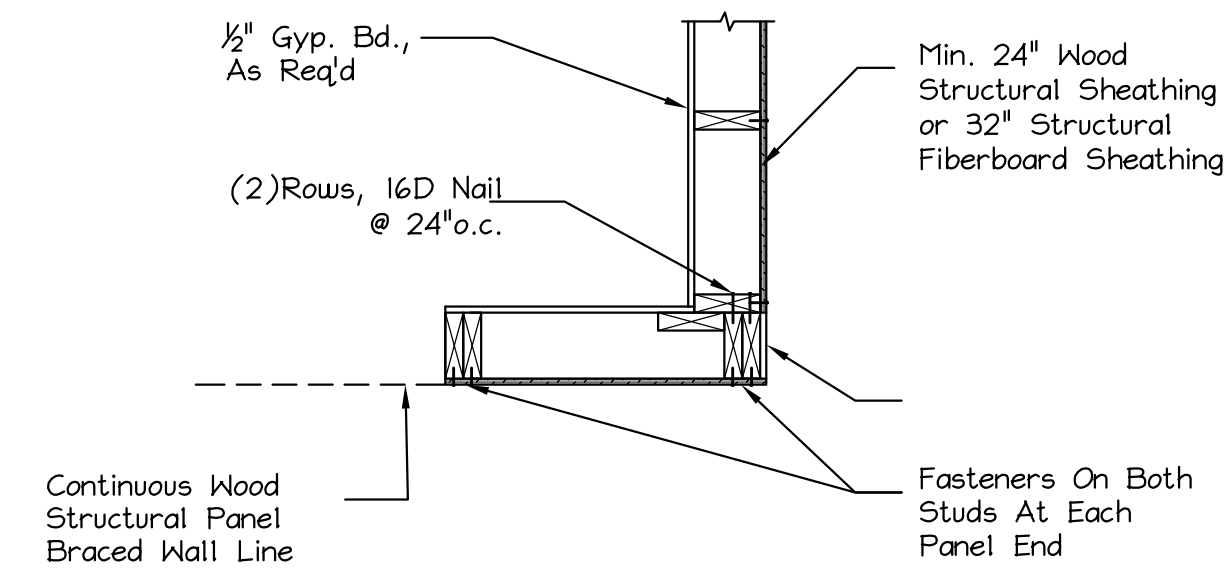
MACLEOD STRUCTURAL ENGINEERS, PA 20 Mechanic Street Gorham, Maine 04038 207.839.0980		
McLellan House 8 College Ave. Gorham, Maine		
TITLE: Sections/Details		
DATE: 01/12/21	DRAWN BY: BIM	DRAWING NUMBER:
SCALE: as noted	PROJ NO: 2021-006	S-2



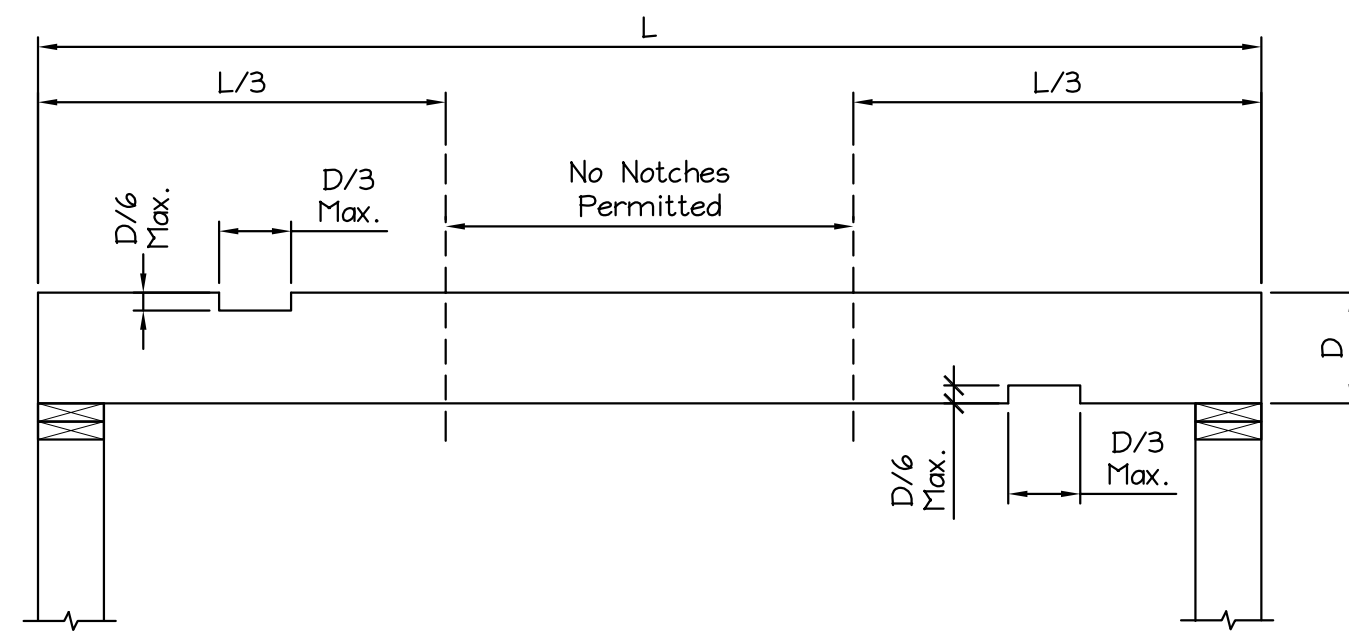
Detail - Typical Corner Post Framing: Outside Corner
Scale: 3/4" = 1'-0"



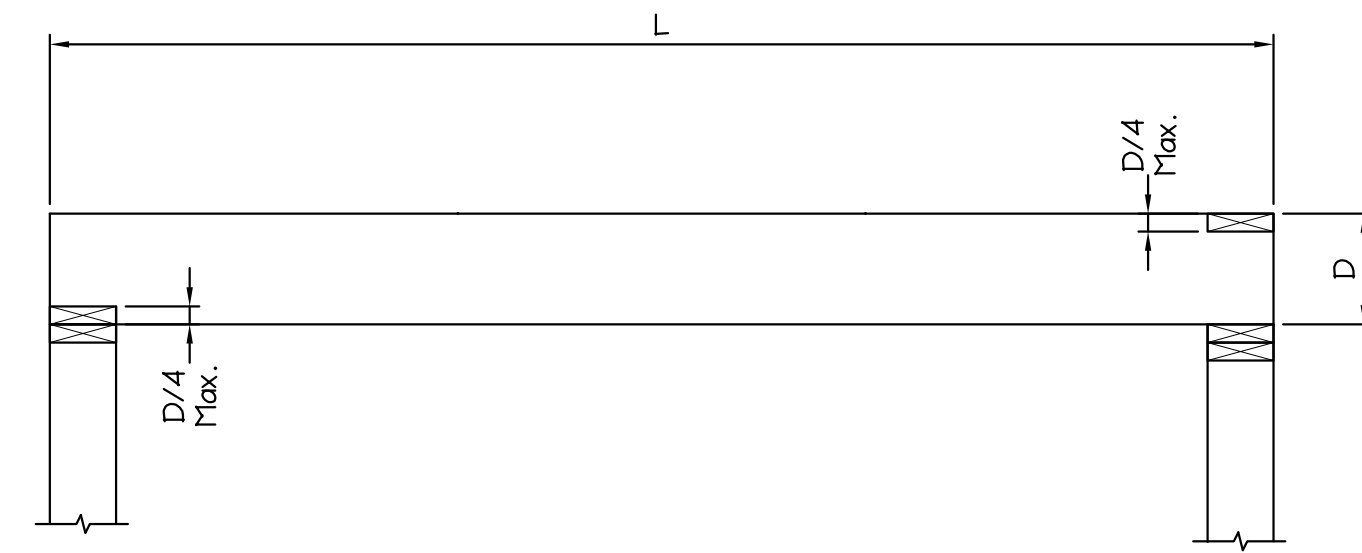
Detail - Typical Corner Post Framing: Inside Corner
Scale: 3/4" = 1'-0"



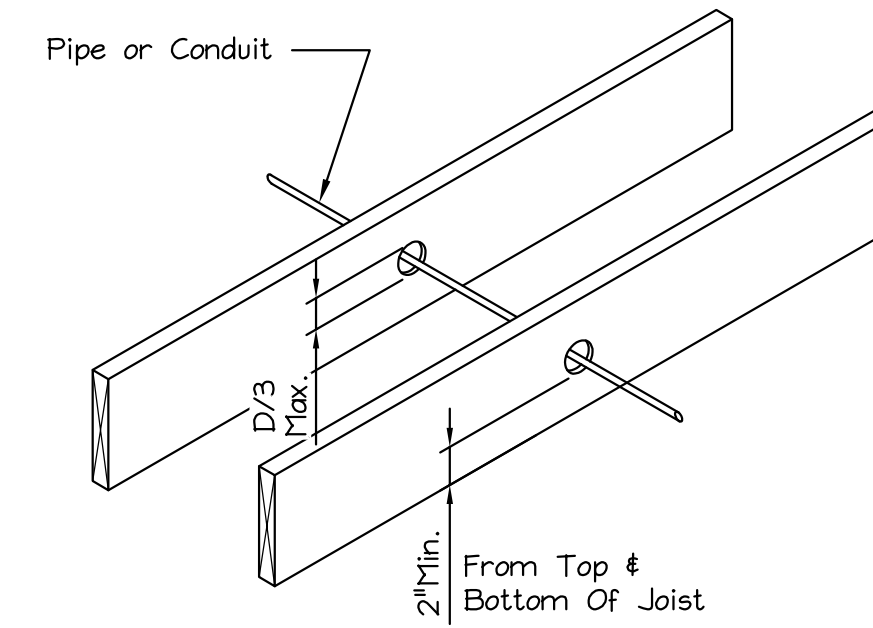
Detail - Garage Door Corner
Scale: 3/4" = 1'-0"



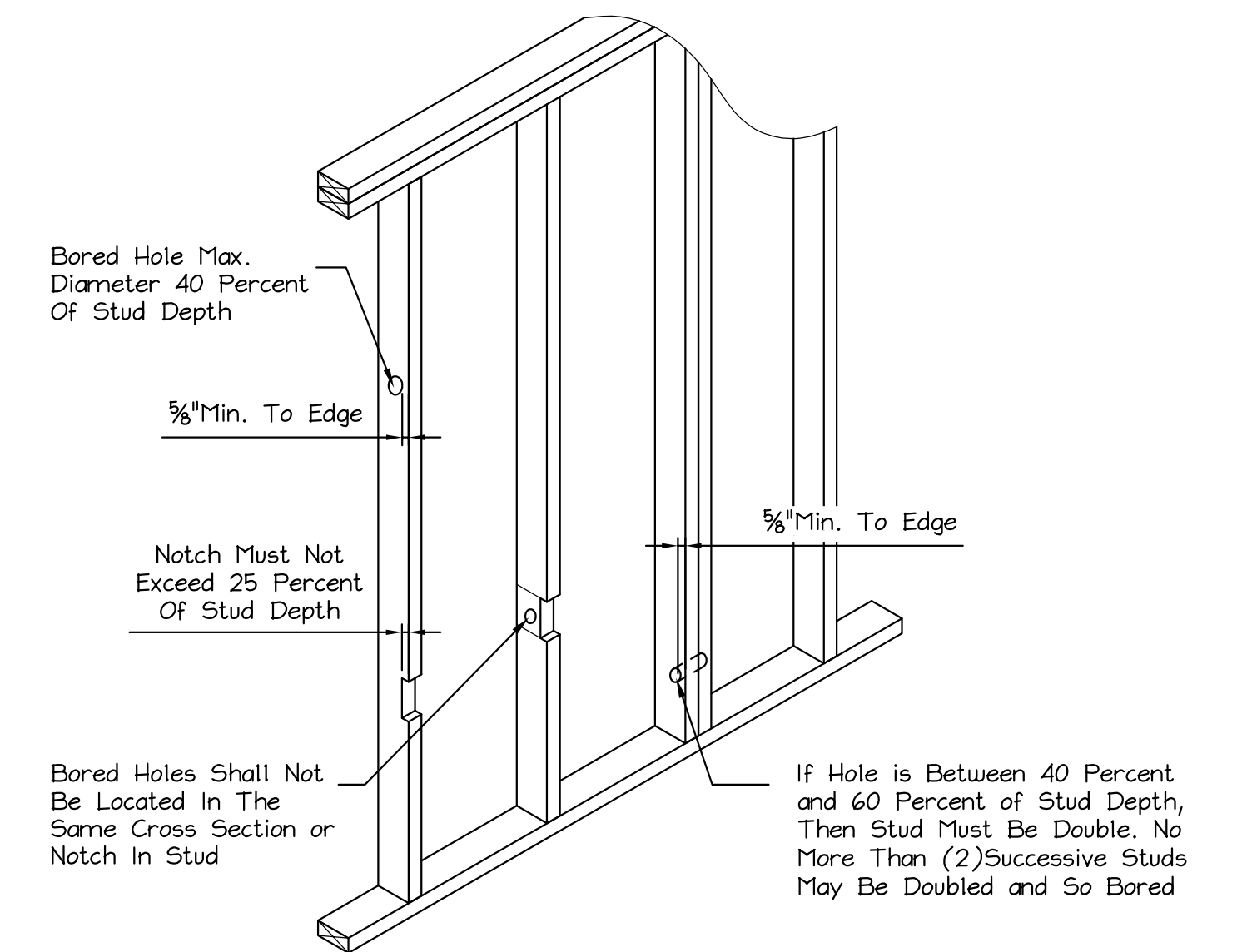
Detail - Floor Joist - Allowable Center Cuts
Scale: 3/4" = 1'-0"



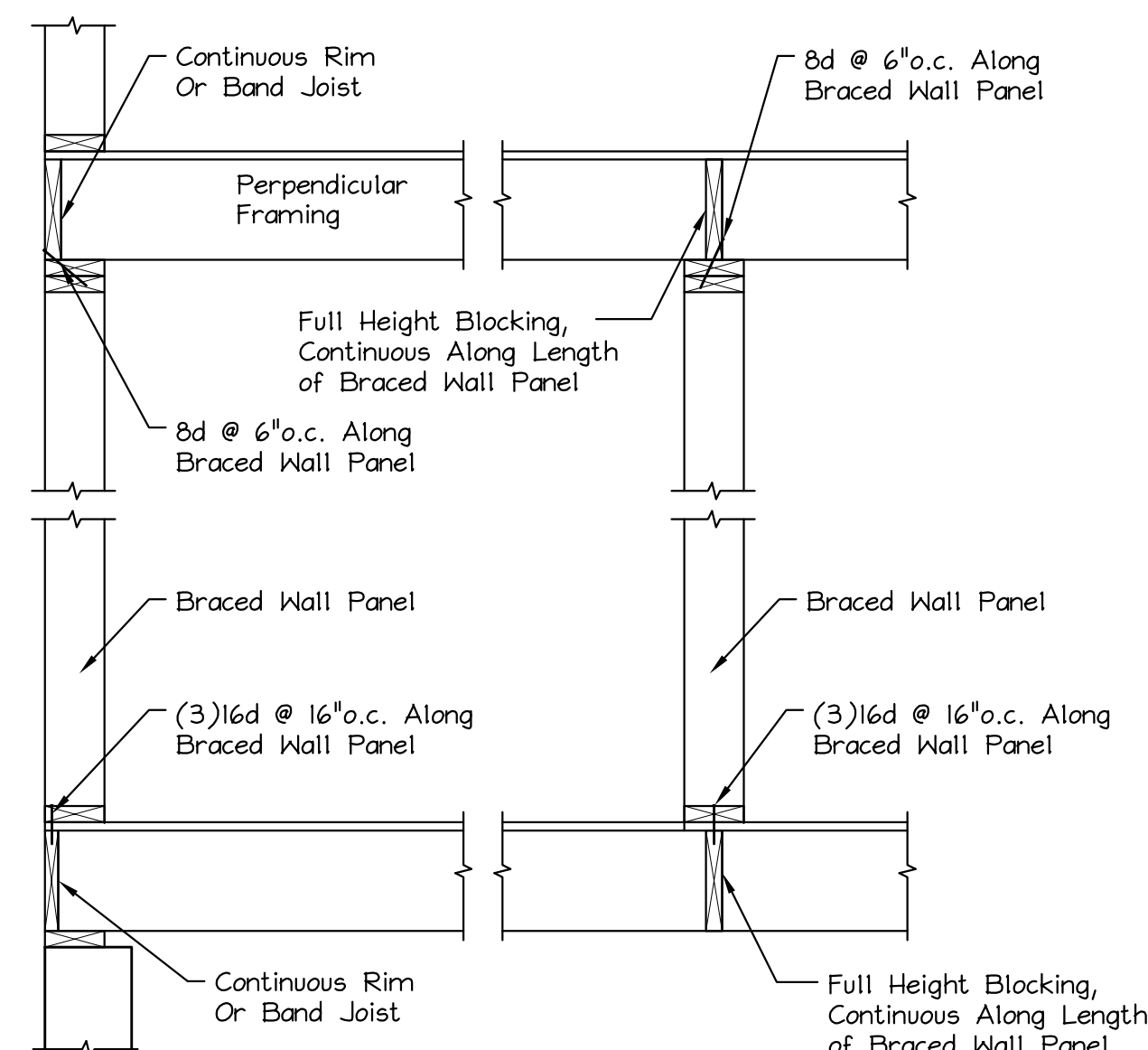
Detail - Floor Joist - Allowable End Cuts
Scale: 3/4" = 1'-0"



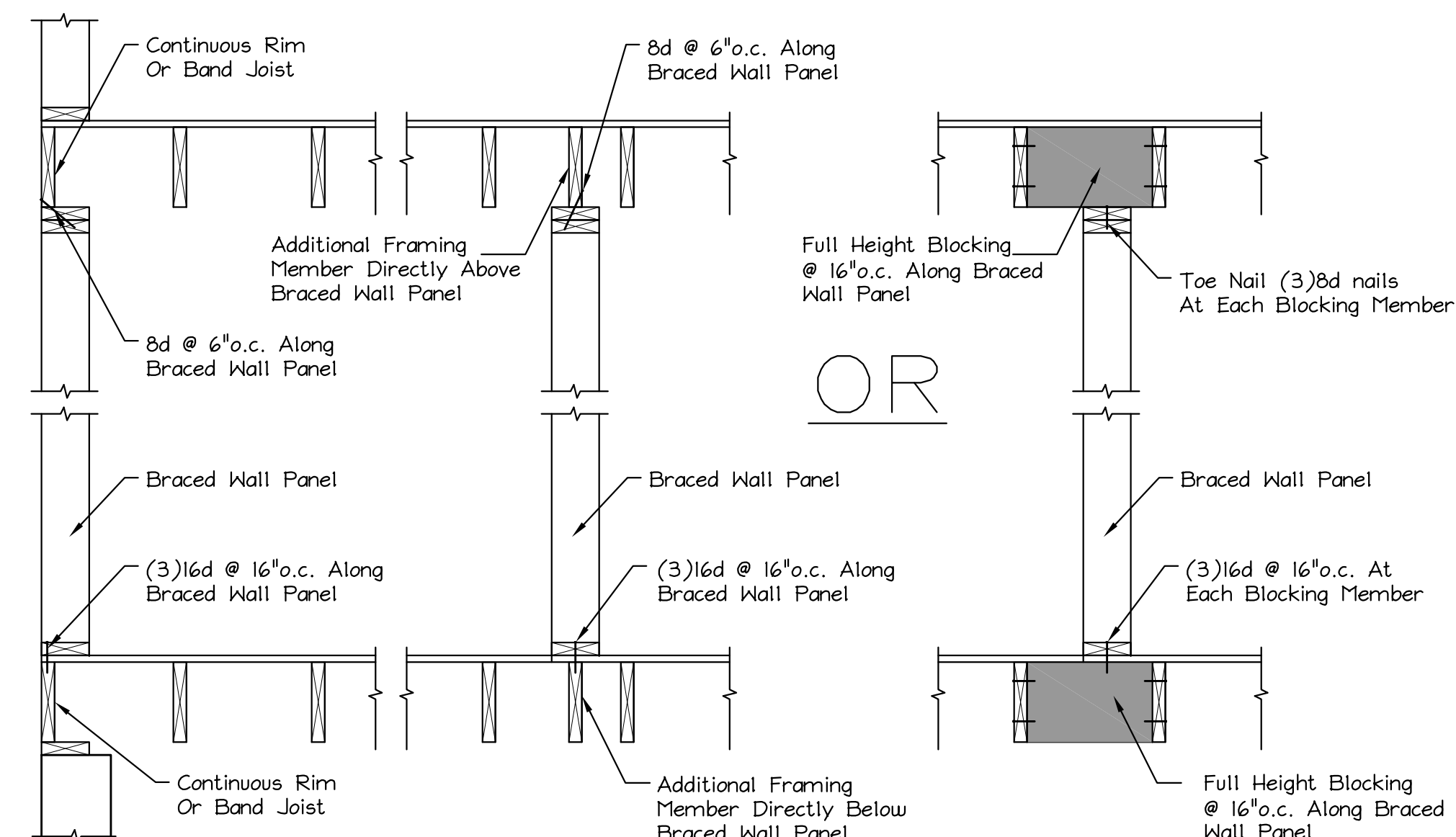
Detail - Floor Joist - Allowable Holes
Scale: 3/4" = 1'-0"



Notching & Bored Hole Limitations
Detail - Exterior & Bearing Walls
Scale: 3/4" = 1'-0"

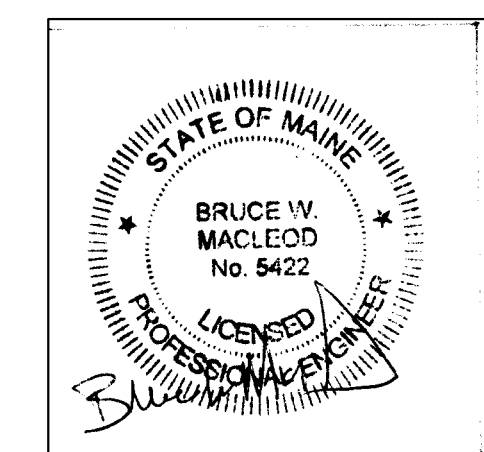


Detail - Braced Wall Panel Connections: Perpendicular
Scale: 3/4" = 1'-0"



Detail - Braced Wall Panel Connections: Parallel
Scale: 3/4" = 1'-0"

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TITLE: Typical Details		
DATE: 01/12/21	DRAWN BY: BIM	DRAWING NUMBER:
SCALE: as noted	PROJ NO: 2021-006	S-3

CONCRETE NOTES:

1. ALL CONCRETE WORK SHALL CONFORM TO ACI-318.
2. CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000 PSI AT FOUNDATION WALLS AND FOOTINGS, 4000 PSI AT ELEVATED FLOOR SLABS, MAXIMUM SIZE AGGREGATE SHALL BE 3/4".
3. CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.
4. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
5. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-318 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
6. SPLICES OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318-19. SPLICES OF W/WF SHALL BE 6" MINIMUM.
7. ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
8. HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
9. CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:

CONCRETE CAST AGAINST EARTH	= 3"
CONCRETE EXPOSED TO EARTH OR WEATHER	= 1 1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER	= 3/4"

WOOD TRUSS NOTES:

1. APPLICABLE SPECIFICATIONS:
 - a. NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENING (NDS).
 - b. MOST RECENT AISC STANDARDS.
 - c. DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES. TPI LATEST EDITION.
2. BRACING:
 - a. TRUSS MANUFACTURER SHALL SPECIFY ALL BRACING FOR BOTH TEMPORARY CONSTRUCTION LOADING AND FOR PERMANENT LATERAL SUPPORT OF GABLE END TRUSS AND COMPRESSION MEMBERS, AS WELL AS ERECTION PROCEDURES.
3. ALL FABRICATED TRUSSES SHALL RECEIVE THE TPI MARK OF APPROVAL IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE PROCEDURES.
4. SUBMIT TRUSS SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING TRUSSES

GENERAL NOTES:

1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
2. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
3. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION.
4. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

FOUNDATION NOTES:

1. FOUNDATION DESIGNED BASED ON AN ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE OF 2500 PSF. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY.
2. DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A FROST DEPTH OF 4'-6" BELOW FINISHED GRADE.
3. NO HORIZONTAL JOINT WILL BE PERMITTED IN THE WALLS OR SLABS UNLESS NOTED OTHERWISE.
4. FOUNDATION CONTRACTOR SHALL SET COLUMN ANCHOR BOLTS AND LEVELING PLATES, INCLUDING GROUTING, AS PER THE STRUCTURAL STEEL CONTRACTOR'S DRAWINGS.
5. EXCAVATING AND BACK FILLING AT NEW AND EXISTING FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.

WOOD FRAMING NOTES:

1. STRUCTURAL LUMBER: SPRUCE PINE FIR NO1/NO2 OR BETTER
2. DESIGN CODE: NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
3. FASTENERS: COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF THE BUILDING CODE, UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
4. NAILING REQUIREMENTS FOR PLYWOOD ROOF DECK:
 - PROVIDE 8d NAILS AS FOLLOWS UNLESS SHOWN OTHERWISE;
 - 8d NAILS @ 6" o.c. ALONG PANEL EDGES
 - 8d NAILS @ 8" o.c. ALONG INTERMEDIATE MEMBERS
5. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
6. PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H2.5 HURRICANE TIES BETWEEN ROOF TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
7. PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.

STRUCTURAL DESIGN CRITERIA:

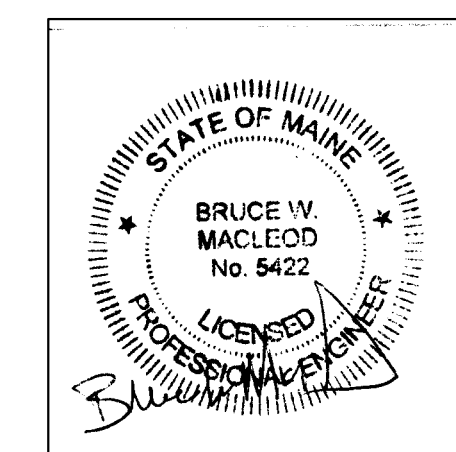
1. Building Code: IBC 2009 International Building Code (Maine Building and Energy Code)
2. Design Loads:

Design Wind: Wind Speed = 112 mph Exposure Category 'B' Risk Category = II	Design Snow: Ground Snow = 60 Thermal Factor =1.1 Import. Factor =1.0 Exposure Factor =1.0
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3. Floor Live Load = 40psf

NOTES:

1. ALL WORK SHALL COMPLY WITH THE LOCAL BUILDING CODE. (MUBEC)
2. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR COMMENCING WORK.
3. ALL JOIST & GIRDER MATERIAL SHALL BE SPF#2 OR BETTER
4. LVLs BY BOISE SHALL BE VERSA-LAM 1.7E, F2650, OR BETTER
5. PRESSURE TREATED LUMBER SHALL BE SYP NO.2 OR BETTER TREATED WITH WATERBORNE PRESERVATIVES PER ANPA STANDARD U1, COMMODITY SPEC. A, TO THE USE REQUIREMENTS OF USE CATEGORY 2 (UC2)

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TITLE: Notes		
DATE: 01/12/21	DRAWN BY: BIM	DRAWING NUMBER:
SCALE: as noted	PROJ NO: 2021-006	S-4